

MAYOR  
CAROLINE SIMMONS



LAUREN JACOBSON  
BOARD CHAIR


SHIVAUN UNDERWOOD  
LAND USE CLERK

**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**  
888 WASHINGTON BOULEVARD  
STAMFORD, CT 06904-2152  
203-977-4160

RECEIVED

DEC 9 2025

**DATE:** December 8, 2025

**TO:** L. Cohen, Planning Board ✓   
L. Bittenwieser, Transportation (via email)  
R. Clausi, Environmental Protection Board  
S. Kiskan, Engineering

PLANNING BOARD

**FROM:** Zoning Board of Appeals

**RE:** Referrals

In accordance with the Section 19 of the Zoning Regulations, the following applications and maps are being referred to your agency for comments:

#001-26      1226 Shippan Avenue

*Please respond by January 8, 2026.*

**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**

Stamford Government Center  
888 Washington Blvd.  
P.O. Box 10152  
Stamford, CT 06904-2152

Telephone 203.977.4160 - E-mail Sunderwood@stamfordct.gov

**PLEASE PRINT ALL INFORMATION IN INK**

**1. I/we hereby apply to the Zoning Board of Appeals for:**

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Gasoline Station Site Approval

RECEIVED

DEC 1 2025

ZONING BOARD  
OF APPEALS

**2. Address of affected premises:**

1226 SHIPPAN AVE, STAMFORD 06902

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street zip code

Property is located on the north ( ) south ( ) east  west ( ) side of the street.

Block: 150 Zone: R-7 1/2 Sewered Property  yes ( ) no  
Is the structure 50 years or older  yes ( ) No

Corner Lots Only: Intersecting Street: Lanell Drive  
Within 500 feet of another municipality: No  Yes ( ) Town of \_\_\_\_\_

**3. Owner of Property:** MR CHRISTOPHER & MRS KAREN BROWN

**Address of Owner:** 1226 SHIPPAN AVE, STAMFORD Zip 06902

**Applicant Name:** MR CHRISTOPHER + MRS KAREN BROWN

**Address of Applicant** 1226 SHIPPAN AVE, STAMFORD Zip 06902

**Agent Name:** \_\_\_\_\_

**Address of Agent:** \_\_\_\_\_ Zip \_\_\_\_\_

**EMAIL ADDRESS:** crispybrown@gmail.com  
(Must be provided to receive comments from letters of referral)

**Telephone # of Agent** \_\_\_\_\_ **Telephone # of Owner** 203 219 6848

(CONTACT IS MADE WITH AGENT, IF ONE)

**4. List all structures and uses presently existing on the affected property:**

1) Primary Residence: single family, 2-1/2 stories, wood framed, with attached 2-story wood deck

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2) Detached wood framed storage shed

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**5. Describe in detail the proposed use and give pertinent linear and area dimensions:**

- No change in use or coverage area, only a change to the roof pitch/shape.
  - Linear dimensions of the new roof: 28'-10" x 12'-8" (average)
  - Area of new roofs within setback: 356 sqft
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**VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section**

**Variance(s) of the following section(s) of the Zoning Regulations is requested**  
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Code Section: 4.B.2. R-20, R-10, R-7 1/2 Single Family Districts, Low Density,  
d. Building Regulations, (3) R-7 1/2 Districts, (b) Minimum Frontage

A portion of the existing residence encroaches on the 30' setback on the Lanell Drive side. The building predates both the current zoning laws and the creation of Lanell Drive.

**Requested Variance:**

Replace two existing low-pitch roofs that fall partially within the setback with gable roofs matching the style of the main roof.

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Variances of the Zoning Regulations may be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

(1) Because the existing building predates both the current zoning laws and the creation of Lanell Drive the roof changes proposed encroach on the current setback.

(2) The existing building was not originally constructed as a corner lot and only became one after the creation of Lanell Drive.

As the existing low-pitched hip roofs are inadequate for effectively protecting the structure from snow and rain, modestly pitched gable roofs are proposed to mediate this condition.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

No additional roof area or habitable area is proposed.

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C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

Only the rear one and two story roof sections are to be replaced. The changes are modest, increasing in height from 0" at the eaves to 3'-8" at the peaks. The taller main roof is to remain.

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### **SPECIAL PERMIT**

(Complete this section **only** for special permits)

SPECIAL PERMIT is requested as authorized by Section(s) \_\_\_\_\_ of the Zoning Regulations.

Provide details of what is being sought:

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**SIGNATURE REQUIRED FOR ALL APPLICATIONS**



Signature of:    ( ) Agent    ( ) Applicant    () Owner

Date Filed: 25<sup>th</sup> NOVEMBER 2025

Zoning Enforcement Officer Comments:

**DECISION OF THE ZONING ENFORCEMENT OFFICER**

(Complete this section **only** for appeals of zoning enforcement officer decision:

DECISION OF THE ZONING ENFORCEMENT OFFICER dated \_\_\_\_\_ is appealed because:

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**CITY OF STAMFORD  
ZONING BOARD OF APPEALS**

**APPLICATION PACKET**

Board Members  
**Lauren Jacobson, Chair**  
**George Dallas**

Alternate  
**Ernest Matarasso**  
**Matthew Tripolitsiotis**  
**Jeremiah Hourihan**

Land Use Clerk  
**Shivaun Underwood**

**ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST TWO WEEKS PRIOR TO THE APPLICATION DEADLINE.**

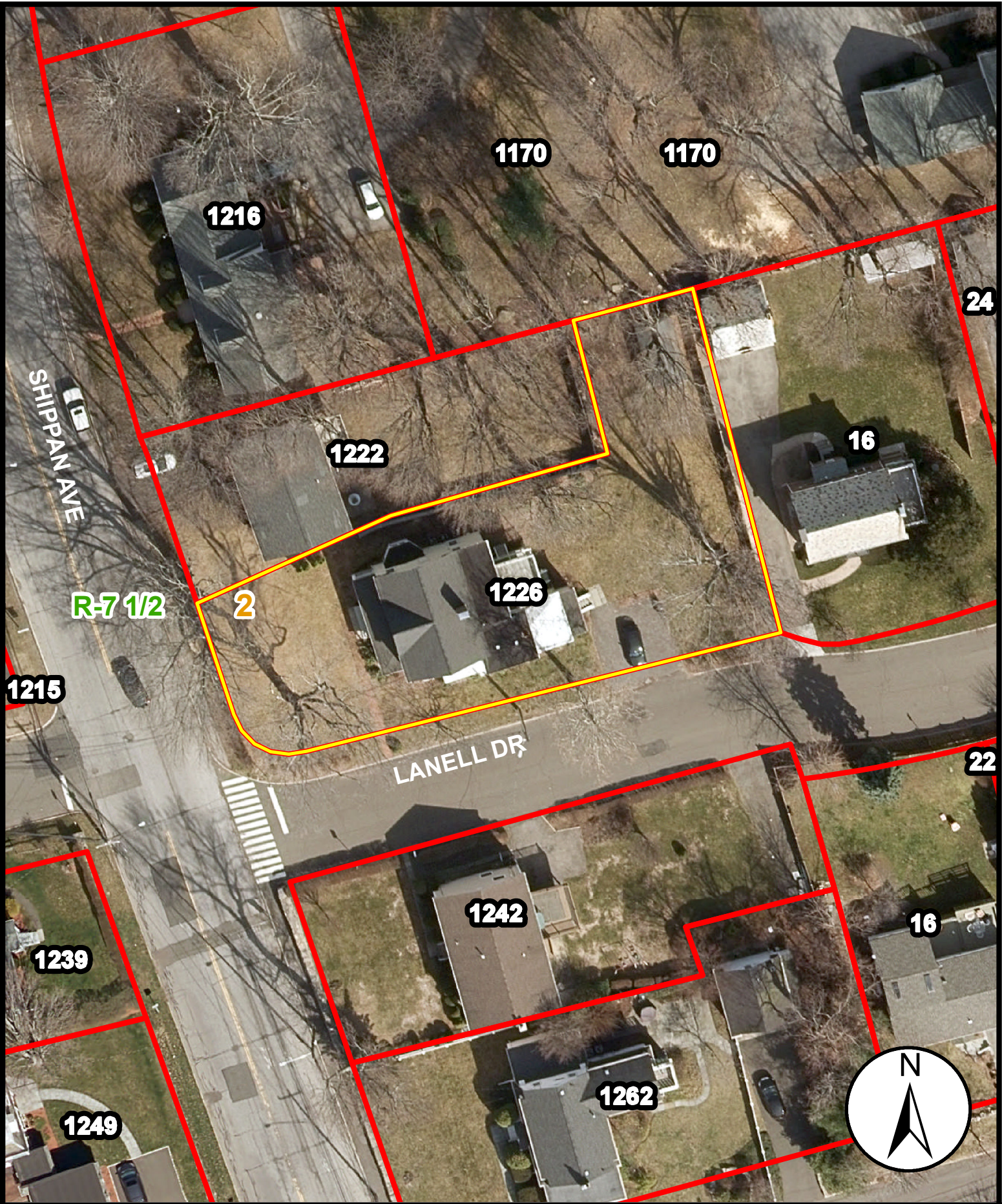
Zoning Enforcement: *Marcia S.* Date: *12/1/25*

Is the project situated in the coastal boundary? Yes ( ) No (X)

Is the project exempt from the coastal regulation?  
Yes (X) Exemption # *9.A.1.j(3)(b)* No ( ) N/A (X)

Environmental Protection: *Robert E. Clausen* Date:

CAM Review by:  ZONING BOARD  ZBA



1170

1170

1216

24

1222

16

SHIPPAN AVE

R-7 1/2

2

1226

1215

LANELL DR

22

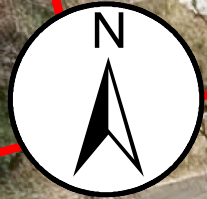
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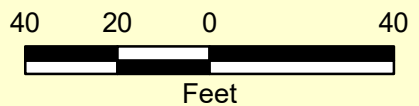
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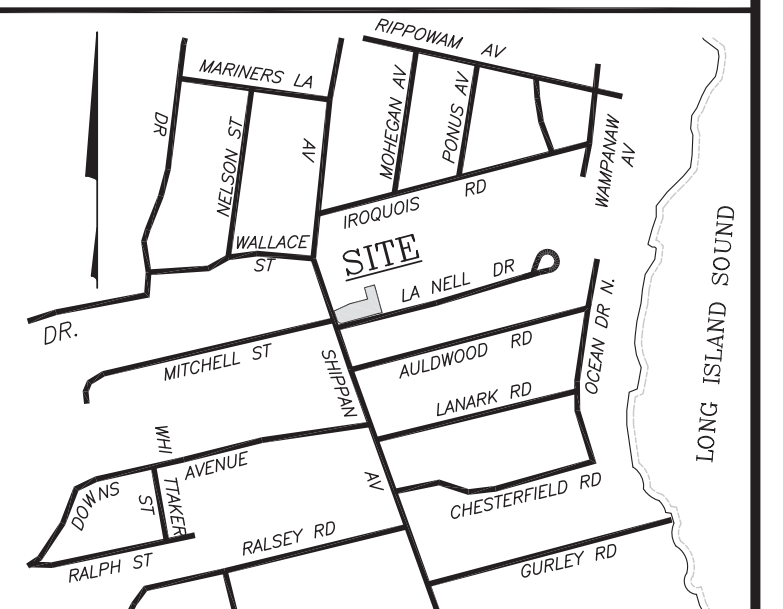


ZBA Application #001-26  
1226 Shippan Avenue

Date: 12/9/2025

1 inch = 42 feet





STAMFORD, CT SCALE: 1" = 800'

ORIENTATION

PARCEL ID: 002-1078

N/F  
Our Lady Star of Sea Corp.  
#1170 Shippan Avenue  
Vol. 1385, Pg. 14 S.L.R.  
Map 10057 S.L.R.

N/F  
Thomas R. Uva  
#1222 Shippan Avenue  
Vol. 4640, Pg. 126 S.L.R.  
Lot 20, Map 9013 S.L.R.

N/F  
Dorothy O'Brien and  
John P. Bigda, Trustees  
#16 Lanell Drive  
Vol. 12019, Pg. 280 S.L.R.  
Lot 2, Map 9013 S.L.R.

**NOTES:**

1. This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as an Existing Building Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and intended to be used for verification of zoning compliance with respect to the location of improvements depicted hereon.
2. Reference is hereby made to Lot 1, Map 9013 and to Maps 10057, 8991 & 4416 of the Stamford Land Records (S.L.R.).
3. Reference is made to the Deed of Record found in Vol. 9909, Pg. 227 S.L.R.
4. Total Area of the Surveyed Parcel: 14,348 Sq. Ft. (0.3294 Acres).
5. Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 517 of 626, Map No. 09001C0517G, Revised July 8, 2013. Subject parcel does not lie in a Special Flood Hazard Area.
6. Reference is made to Instruments of Record as labeled hereon.
7. Wetlands, if any, are not depicted hereon.
8. Owner of Record: Christopher Paul Brown and Karen Diane Brown.

**ZONING DATA TABLE (ZONE R-7 1/2)**

REGULATION	MINIMUM REQUIRED	EXISTING
LOT AREA	7,500 sf	14,348 sf
LOT FRONTAGE	60'	>60'
Setback	FRONT	30' / 55' CL Road
	SIDE	6' ONE / 12' BOTH
	REAR	*N/A (Corner Lot)
BUILDING AREA	25% (Max)	17.0%
MAXIMUM HEIGHT	2.5 stories (Max)	2.5 stories
	30' feet (Max)	Not Measured

Refer to Table III, Appendix B of the Stamford Zoning regulations.  
\* Subject parcel is a Corner Lot as defined in Section 3.8-20 of the Stamford Zoning Regulations.

**EXISTING BUILDING LOCATION SURVEY**

DEPICTING  
**1226 SHIPPAN AVENUE**  
STAMFORD, CONNECTICUT  
PREPARED FOR  
**CHRISTOPHER BROWN**

**REDNISS & MEAD**  
LAND SURVEYING  
CIVIL ENGINEERING  
PLANNING & ZONING CONSULTING  
PERMITTING

22 First Street | Stamford, CT 06905  
Tel: 203.327.0500 | Fax: 203.357.1118  
www.rednissmead.com

Scale: 1" = 10'

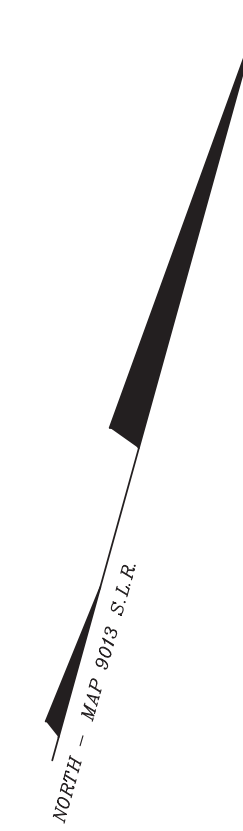
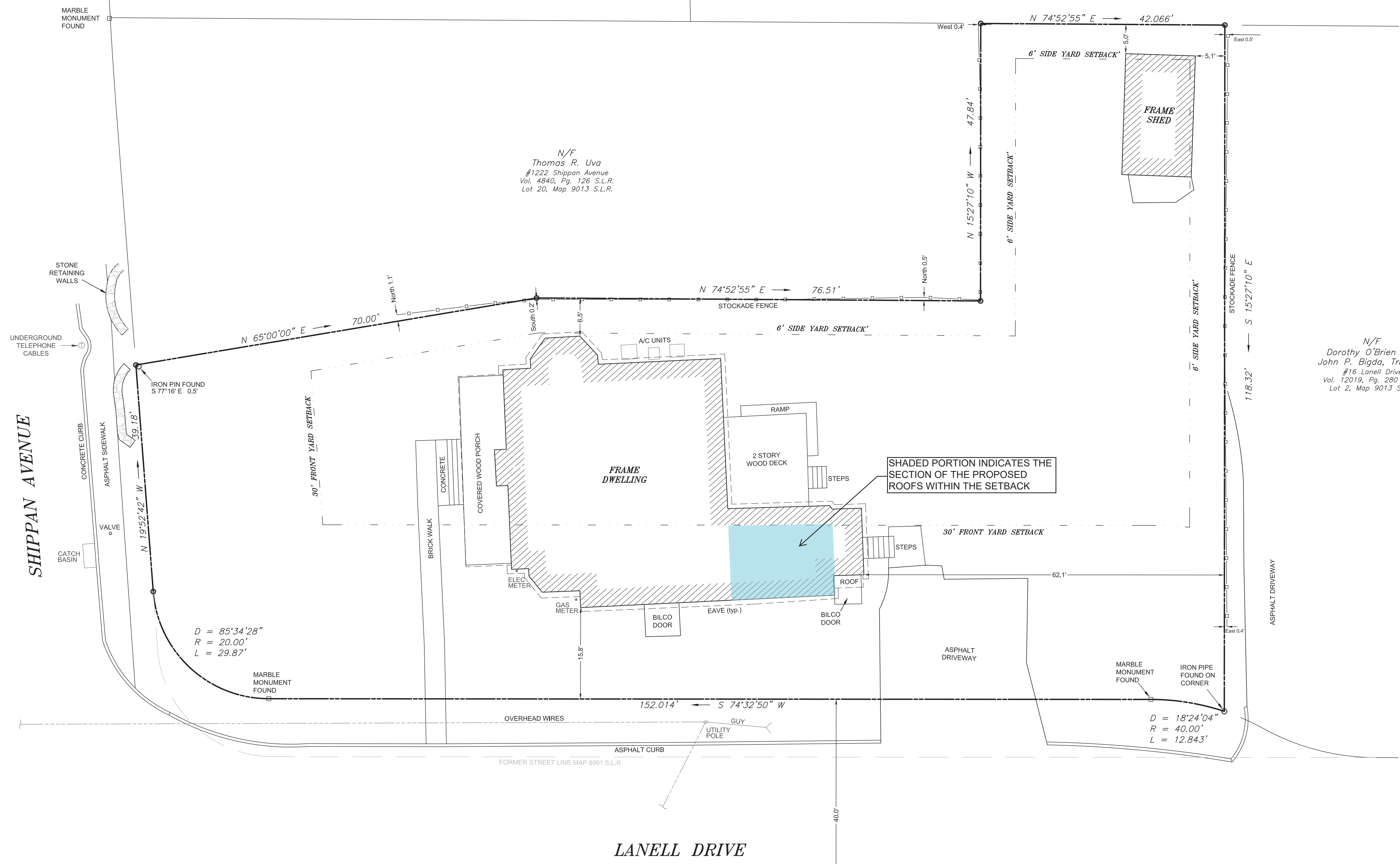
Drawn By: RJB Checked By: JPP Date: 3/10/2025

To my knowledge and belief this map is substantially correct as noted hereon.

*George P. Pereira*  
JORGE P. PEREIRA CT. L.S. #70179  
3/10/2025  
DATE

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration herein null & void.

Sheet No: **EBL5**  
Comm. No: 11051-1



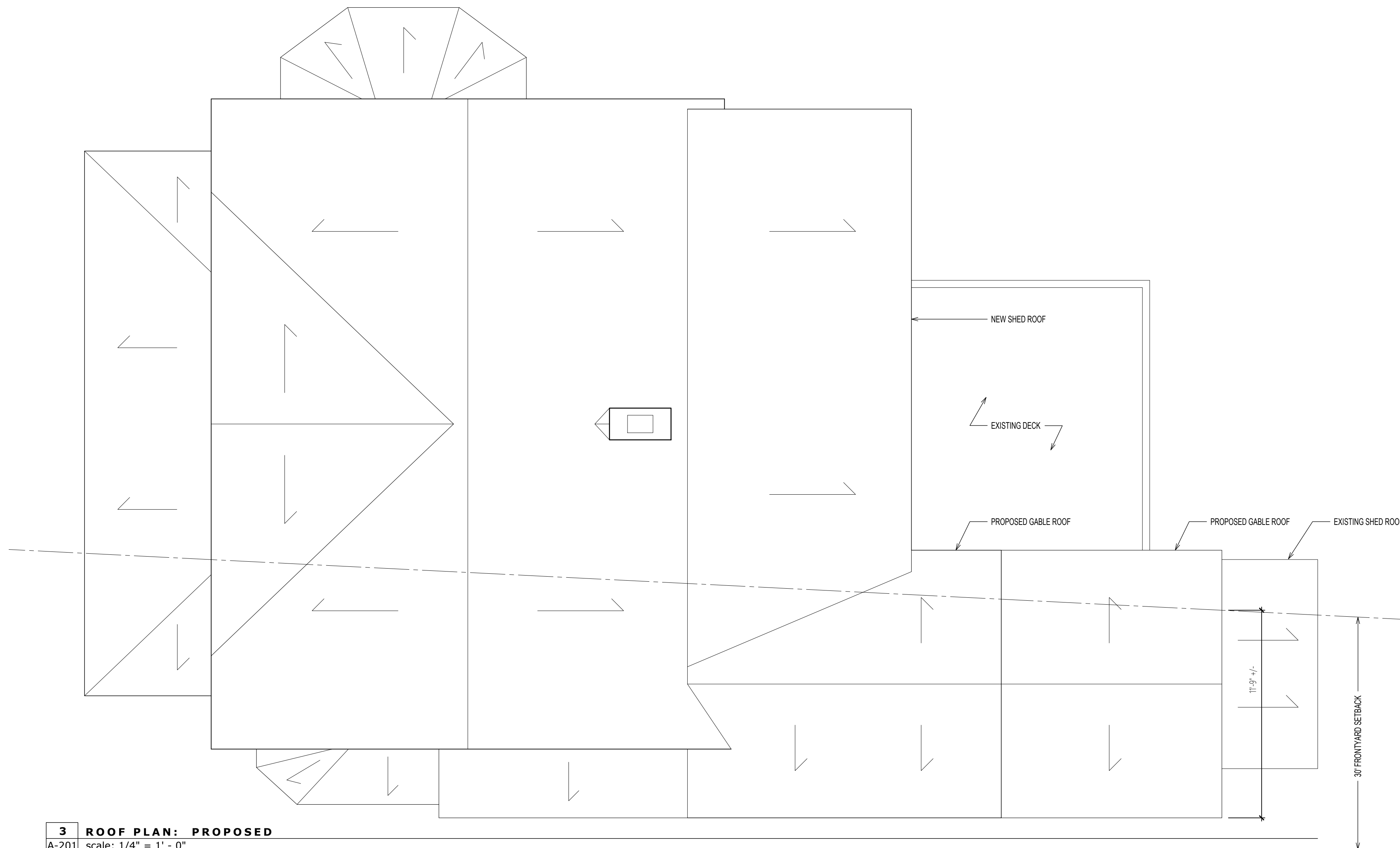




**1 SOUTH SIDE ELEVATION: PROPOSED**  
A-201 scale: 1/4" = 1' - 0"



**2 EAST REAR ELEVATION: PROPOSED**  
A-201 scale: 1/4" = 1' - 0"



**3 ROOF PLAN: PROPOSED**  
A-201 scale: 1/4" = 1' - 0"

Revisions/Issued:

08.25.2025: PRELIM. BLDG DEPT. REVIEW

Architectural Designer:

**BLITZ ARCHITECTURAL  
DESIGN SERVICES, LLC**  
8 CROWN AVE.  
NORWALK, CT 06854

Structural Engineer

Project/Client:

**1226 SHIPPAN AVE.**  
STAMFORD, CT. 06902

Sheet Title:

**ELEVATIONS & ROOF PLAN  
- PROPOSED -**

Date: 07.08.2025

Scale: 1/4" = 1' - 0"

**A-201**