

**MEMORANDUM**

**To:** Zoning Board of the City of Stamford  
**From:** Lisa L. Feinberg  
**Date:** December 5, 2025  
**Re:** Response to Comments on ZB App. No. 225-29 (120-C Long Ridge Road)

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On December 1, 2025, the Zoning Board began discussion of Zoning Board Application No. 225-29 (the “Application”) for 120-C Long Ridge Road and provided several comments to be addressed by the Applicant. Staff also provided feedback, and one member of the public spoke during the public hearing. This memorandum is being provided in response to these collective comments.

**Staff Comments**

Below is a list of comments received from staff along with the Applicant’s responses:

1. *In her staff report dated December 1, 2025, Vineeta Mathur, Principal Planner for the City of Stamford, stated that “Staff recommends expanding the pollinator garden to other common areas of the site.”*

A second pollinator pathway has been added just north of the pool. This change is reflected on the enclosed landscape plans prepared by Environmental Land Solutions revised through December 5, 2025.

2. *Please demarcate the two (2) proposed EV visitor parking spaces.*

The enclosed plan titled “Site Plan – 1, C-101” prepared by Tighe & Bond revised through December 5, 2025, has been updated to depict the proposed EV visitor parking spaces.

**Zoning Board Comments**

1. *Sidewalk Fee-in-Lieu: provide calculations for the amount of the Sidewalk FIL.*

Section 12.K.4.c.(2) of the Zoning Regulations provides that the fee-in-lieu payment should be calculated by multiplying the linear feet of all street frontages by \$250 and adjusted by the Engineering News Record Construction Cost Index (“ENR Index”). The current ENR Index is 1.034. The Applicant has requested to provide a fee-in-lieu payment for the Old Barn Road

North and Cold Spring Road frontages for the reasons outlined in the application materials and explained during the public hearing. Collectively, these two (2) street frontages equate to 190± linear feet. An exhibit titled “Sidewalk Frontage Exhibit – Fee-in-Lieu” prepared by Tighe & Bond and dated December 2, 2025, is provided herewith for reference. Accordingly, the estimated fee-in-lieu payment would be approximately \$49,115 ((190’ x \$250) x 1.034).

2. *Old Barn Road East is depicted on the survey. Why are sidewalks and street trees not required for that frontage?*

Old Barn Road East is shown on the submitted surveys prepared by Redniss & Mead with a note indicating it is not in physical evidence. This is what is considered a “paper street” – a street provided on paper in connection with a subdivision but not actually constructed. Enclosed herewith is an exhibit depicting the original subdivision map and existing conditions. There is no street sign for Old Barn Road East, nor does it show up on Google Maps. The Tax Assessor’s Records also do not include a single address on Old Barn Road East. While the subdivision map contemplated a road, it was constructed as a driveway.

Moreover, Section 12.K.4.a.2 of the Stamford Zoning Regulations provides for an exception to the sidewalk requirement for single or two-family properties on a cul-de-sac or dead-end serving five (5) or fewer such properties. As shown on the Zoning Location Survey prepared by Redniss & Mead revised through November 21, 2025, Old Barn Road East is depicted as a cul-de-sac serving five (5) properties.

For all of these reasons, the Applicant submits a sidewalk and street trees should not be required for Old Barn Road East.

3. *Consider providing a larger child play area.*

As noted during the public hearing and supported by the submitted municipal fiscal impact report prepared by Goman + York, the Applicant does not expect a large number of children to live in the new development. While the project will not be age-restricted, it is expected that many of the new residents will be empty nesters looking to downsize. Moreover, between the newly adopted setbacks from inland wetland and watercourses & enhanced building setbacks in the C-D zone, the project is already being developed at less than half of the density otherwise permitted on the site. Thus, space is limited.

However, at the request of the Zoning Board, the Applicant explored opportunities to enhance the size of the play area. The Stamford Zoning Regulations require the lesser of 1,000 square feet or 25% of the area of the usable open space. The proposed play area will be 1,031± square feet. While the expansion is minimal, it will accommodate an attractive playscape. Enclosed herewith is an example of a playscape designed by American Playground Company that could be contained in this space. For all of these reasons, the Applicant submits that the proposed child play area complies with the regulations and is appropriate for the project.

4. *Update the landscape plan to depict the existing trees counted toward the street tree requirement.*

Enclosed please find revised landscape plans prepared by Environmental Land Solutions, LLC, (ELS) revised to December 5, 2025. ELS field located eight (8) existing trees along the Long Ridge Road frontage and Sheet LP.4 has been revised to depict the number and location of each existing street tree. The Applicant has also identified a minimum of six (6) street trees along the Cold Spring Road frontage which are depicted on Sheet LP.3. Photographs of these trees are also included herewith.

5. *Please confirm what elements of the architectural design are subject to change.*

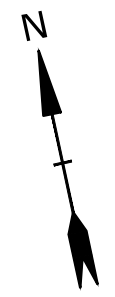
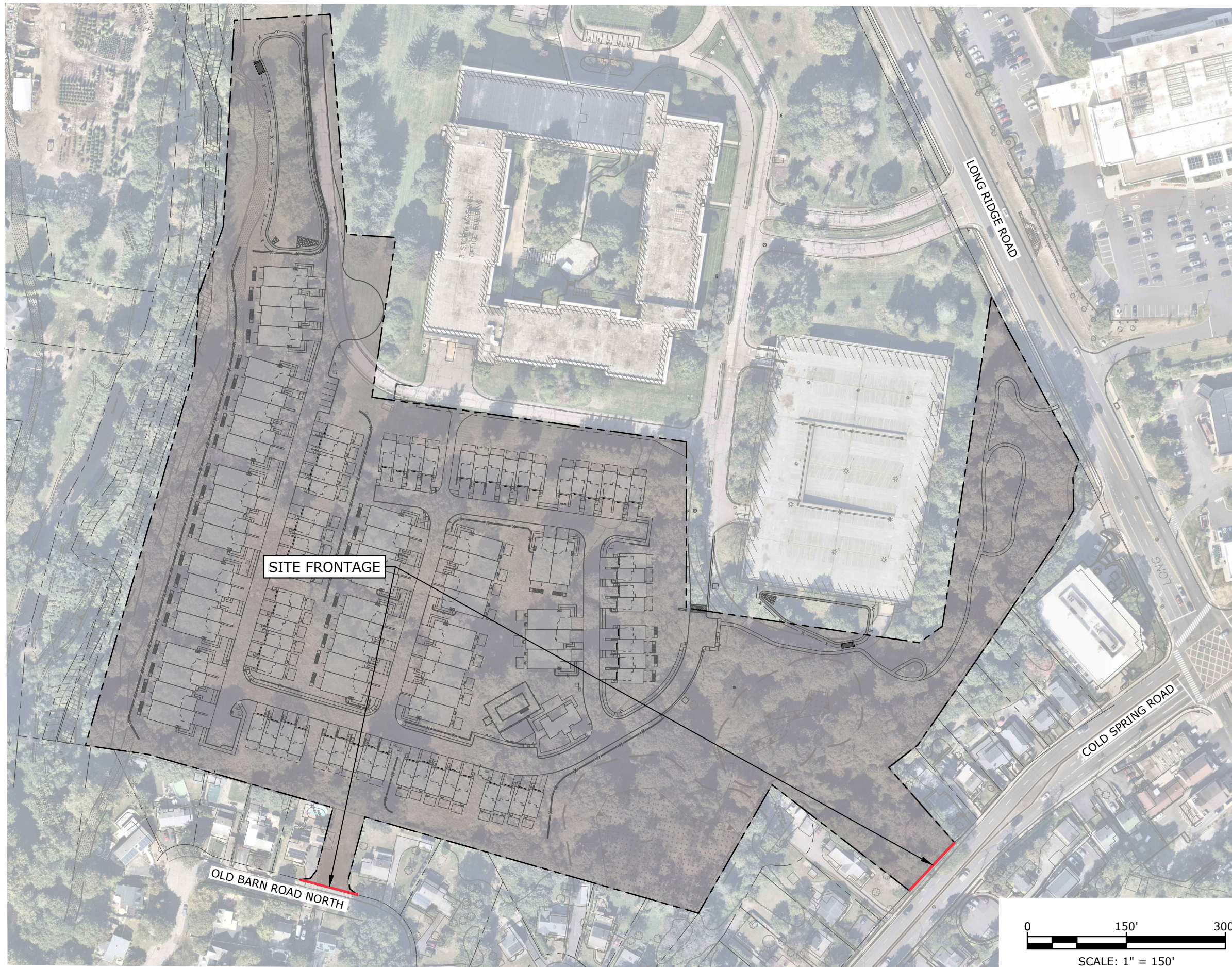
As noted during the public hearing, only the rear façades of the buildings are subject to change based on buyer preferences related to deck-options. The remainder of the buildings will be consistent with the renderings and elevations submitted. The architectural drawings have been updated to remove any reference to preliminary or conceptual images and have been included herewith.

### **Public Comment**

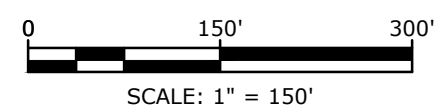
*Pedestrian Safety was raised by a member of the public as a concern related to the proposed redevelopment.*

Stamford's Vision Zero initiative was launched in 2022 to eliminate all traffic fatalities and serious injuries by 2032. In furtherance of this goal, the city has been steadily making investments in improved sidewalks, crosswalks, curb extensions, bike lanes and speed cameras. In furtherance of this goal, the city recently completed new pedestrian improvements along Long Ridge Road, including the site frontage. Moreover, like every large-scale development in Stamford, the Applicant has been asked to contribute to the public transportation infrastructure to improve pedestrian safety in the vicinity. In addition to contributing \$150,000 toward traffic signal improvements, the Applicant has been asked to contribute an additional \$50,000 toward pedestrian improvements in the Bulls Head area. Moreover, the Applicants sidewalk fee-in-lieu payment (estimated at close to \$50,000) will provide additional funding for sidewalk improvements in the area.

Thus, the Applicant is confident that, if approved, the proposed redevelopment will improve pedestrian safety in the immediate vicinity.



SITE FRONTAGE	
COLD SPRING ROAD	100 FT±
OLD BARN ROAD NORTH	90 FT±



120-C LONG RIDGE ROAD STAMFORD, CT	
SIDEWALK FRONTAGE EXHIBIT - FEE-IN-LIEU	
DATE:	12/03/2025
SCALE:	AS SHOWN
FIGURE:	1





Old Barn Road East  
Current Aerial

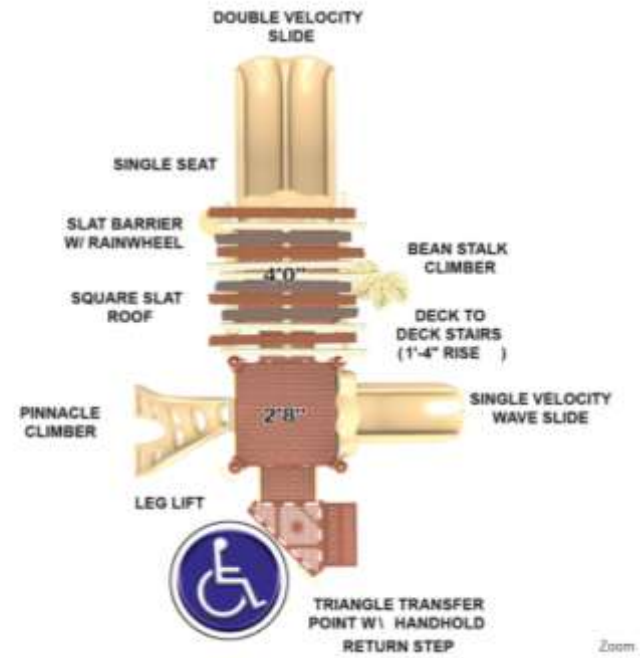


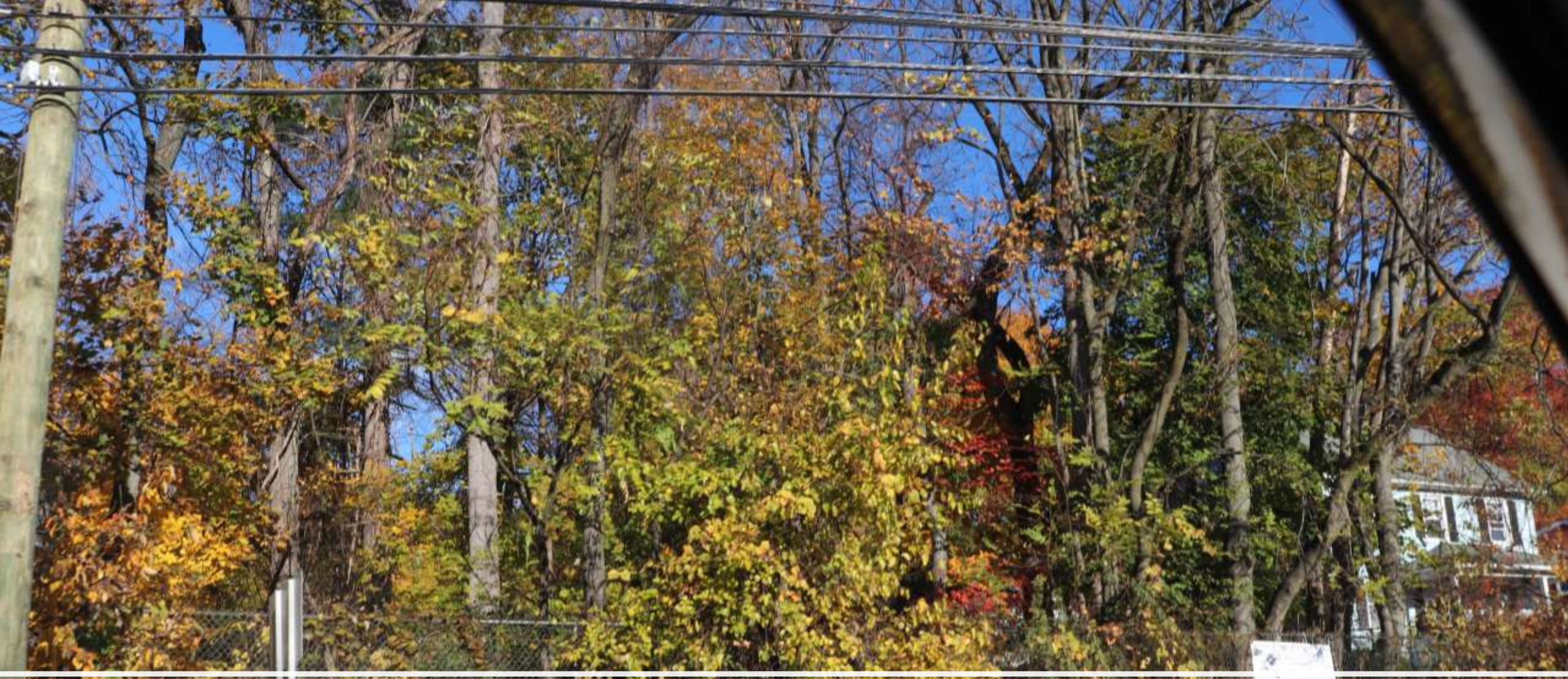
Old Barn Road East  
Approved Subdivision



Old Barn Road East  
Current Street View

# American Playground Company Example





Cold Spring Road Frontage



Long Ridge Road Street Frontage

