

Application # _____

CITY OF STAMFORD
ZONING BOARD OF APPEALS

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjjudge@stamfordct.gov

RECEIVED

APR 30 2025

ZONING BOARD
OF APPEALS

PLEASE PRINT ALL INFORMATION IN INK

1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Gasoline Station Site Approval

2. Address of affected premises:

31 Hobson street 06902
street zip code

Property is located on the north () south east () west () side of the street.

Block: 106 Zone: R-10 Sewered Property yes () no
Is the structure 50 years or older yes () No

Corner Lots Only: Intersecting Street: Brightside Drive
Within 500 feet of another municipality: No Yes () Town of _____

3. Owner of Property: George Zaki & Yana Rozman

Address of Owner: 31 Hobson street, stamford, ct Zip 06902

Applicant Name: George Zaki

Address of Applicant same as above Zip _____

Agent Name: _____

Address of Agent: _____ Zip _____

EMAIL ADDRESS: georgemzaki@gmail.com
(Must be provided to receive comments from letters of referral)

Telephone # of Agent _____ Telephone # of Owner 917 304-1960

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

House, shed, AC units

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

Proposed 4 foot widening of garage to allow for use to store modern sized SUVs and proposed 2nd story addition above garage.

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

Variance(s) of the following section(s) of the Zoning Regulations is requested (provide detail of what is sought per the applicable section(s) of the Zoning Regulations):

Variance of table 2 Appendix B for a front street-line setback of 16.7 feet in lieu of 40 feet required (on Brightside Drive). Variance of table 2 Appendix B for a front street center setback of 41.7 feet in lieu of 65 feet required (on Brightside Drive). ~~Variance of~~
~~table 2 Appendix B~~

Variations of the Zoning Regulations **may** be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

House is located on a non-conforming corner lot facing Hobson street. Brightside Drive is a non-conforming street. Hobson street is a permit-parking-only street limited to 3 electronic permits / household. Additionally there is NO PARKING ANYTIME on Brightside Drive. I have a small driveway facing Brightside Drive. I need to utilize my garage to park two modern-sized SUVs so that my children's caretakers & guests can park w/o ticketing.

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

Guests & caretakers are unable to park legally if I cannot use my garage to park my own vehicles. Driveway is needed for guest parking. This will also allow me to bring interior staircase to code. Currently staircase is dangerous w/ low head clearance and outward swinging door from bedroom above garage.

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

Architecturally the home will be more in line with the neighborhood. Changes would not impede any neighbors views.

SPECIAL PERMIT

(Complete this section **only** for special permits)

SPECIAL PERMIT is requested as authorized by Section(s) _____ of the Zoning Regulations.

Provide details of what is being sought:

SIGNATURE REQUIRED FOR ALL APPLICATIONS

Yana Roman

Signature of: () Agent (X) Applicant (✓) Owner

Date Filed:

4/29/2015

Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORCEMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision:

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



CITY OF STAMFORD
ZONING BOARD OF APPEALS

APPLICATION PACKET

Board Members
Joseph Pigott, Chair
Lauren Jacobson
George Dallas

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Jeremiah Hourihan

ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST TWO WEEKS PRIOR TO THE APPLICATION DEADLINE.

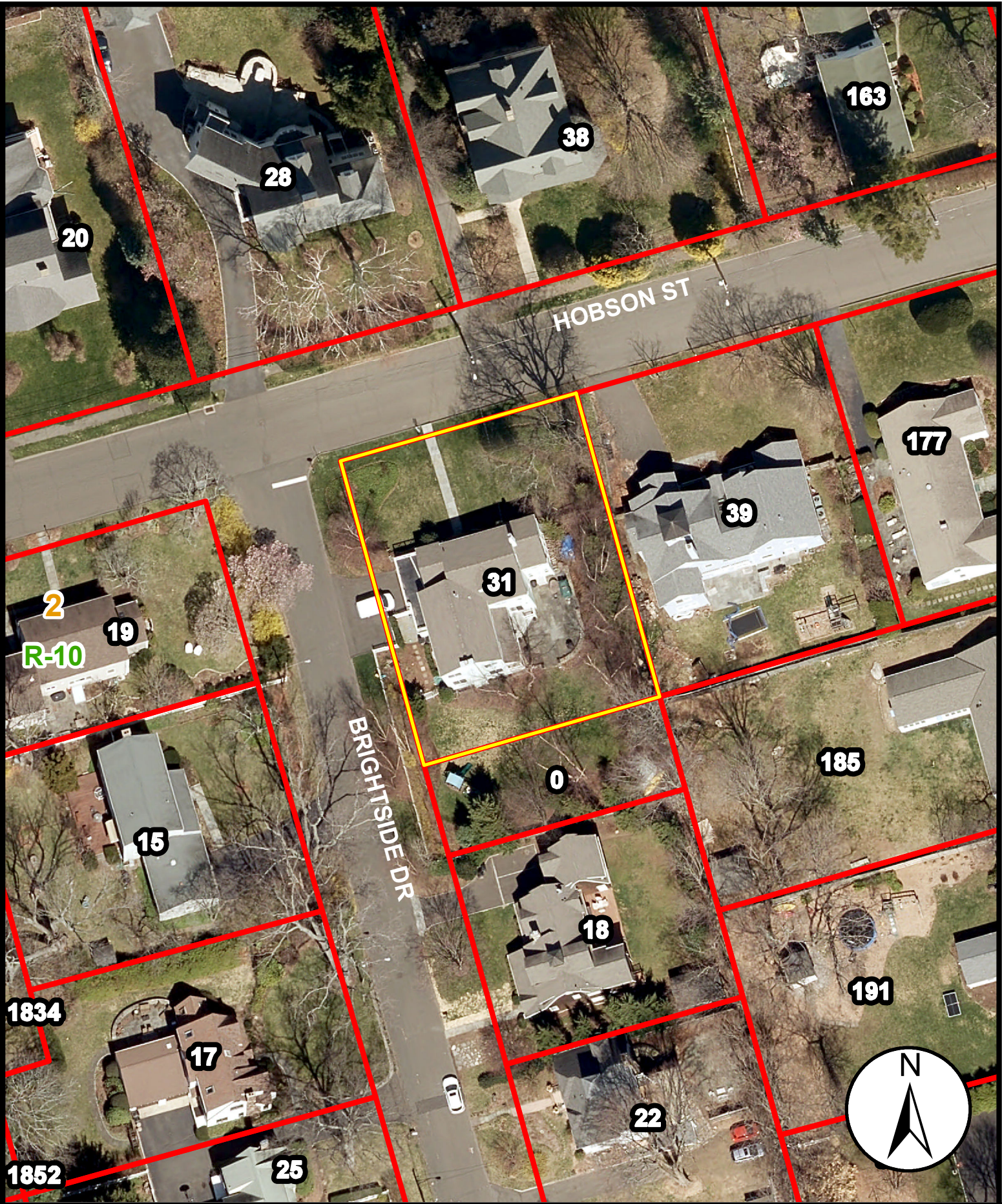
Zoning Enforcement: [Signature] Date: 3/29/2015

Is the project situated in the coastal boundary? Yes () No ()

Is the project exempt from the coastal regulation?
Yes () Exemption # 9.A.1.j.(2) No () N/A ()

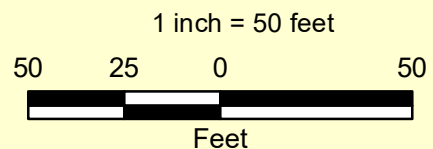
Environmental Protection: _____ Date: _____

CAM Review by: ZONING BOARD ZBA



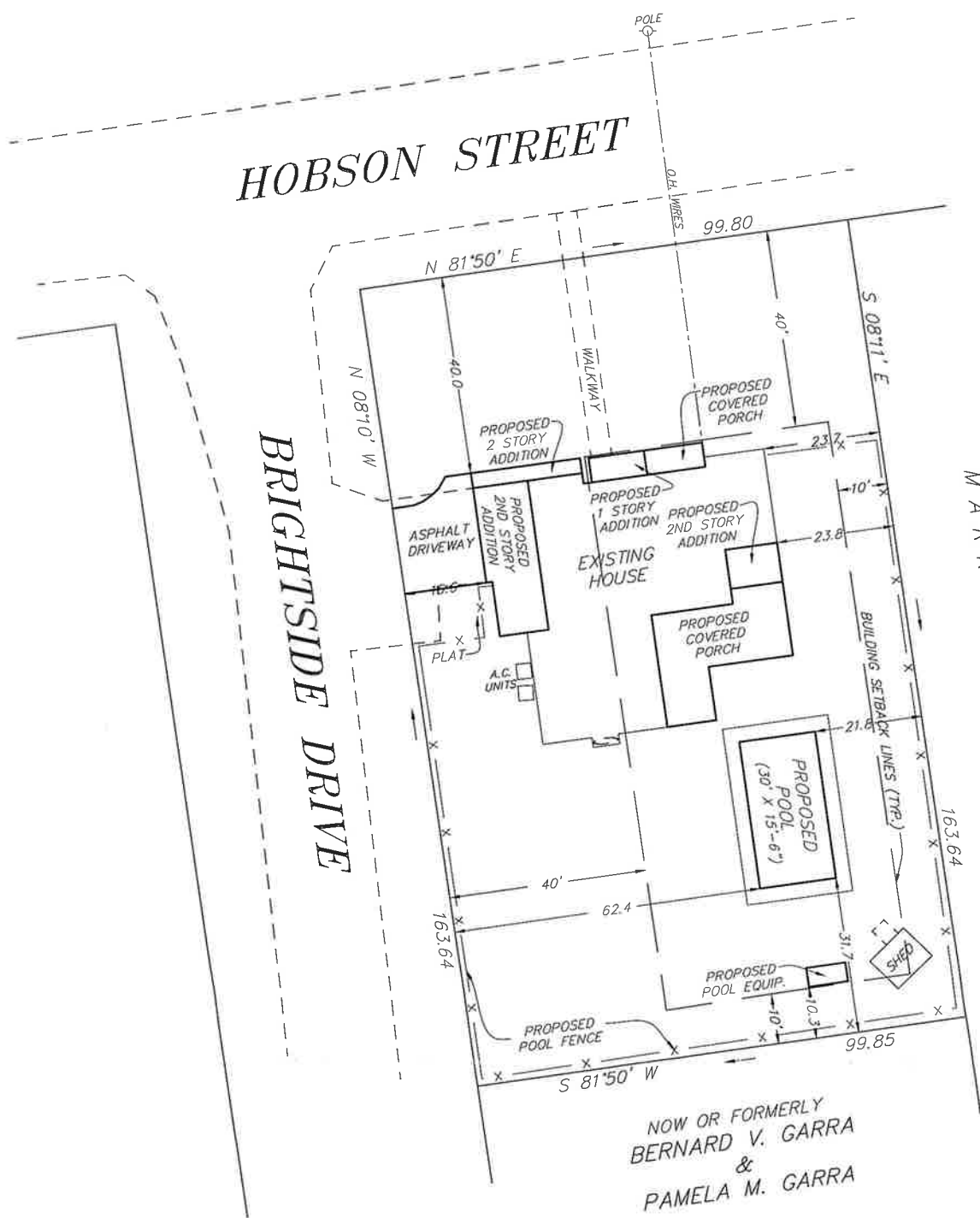
ZBA Application #012-25
31 Hobson Street

Date: 5/8/2025



31 HOBSON STREET

BLOCK 166
R-10 RESIDENCE ZONE



NOW OR FORMERLY
MARK W. NASO

NOW OR FORMERLY
BERNARD V. GARRA
&
PAMELA M. GARRA

IMPROVEMENT LOCATION MAP

PREPARED FOR

GEORGE M. ZAKI & YANA ROZMAN
STAMFORD, CONNECTICUT

AREA
16,336 S.F.

ALLOWABLE BUILDING COVERAGE = 3,267 S.F. = 20% OF LOT AREA
EXISTING BUILDING COVERAGE = 2,479 S.F. = 15.18% OF LOT AREA
PROPOSED ADDITIONS = 739 S.F.
REMOVALS = -178 S.F.
TOTAL BUILDING COVERAGE = 3,040 S.F. = 18.61% OF LOT AREA

AVERAGE GRADE = 104.5 FT.
ALLOWABLE BUILDING HEIGHT = 30 FT. (2 1/2 STORIES)
PROPOSED BUILDING HEIGHT = 25.1 FT. (2 1/2 STORIES)

REFER TO A MAP ENTITLED "ZONING LOCATION SURVEY DEPICTING
FOUNDATION LOCATION #31 HOBSON STREET STAMFORD, CT.
PREPARED FOR DANIEL & LYNN FRIEDBERG", MADE BY REDNISS
& MEAD ON OCTOBER 26, 2001.

REFER TO MAP NO. 879 ON FILE IN THE STAMFORD LAND RECORDS.

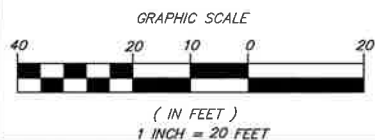
PROPOSED ADDITIONS ADDED ON APRIL 07, 2025.

THE PURPOSE OF THIS MAP IS FOR A BUILDING PERMIT.
OTHER FIELD DATA MAY NOT BE SHOWN.

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS
20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT
STATE AGENCIES AND THE "STANDARDS FOR SURVEYS AND MAPS IN
THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT
ASSOCIATION OF LAND SURVEYORS, INC. AS A ZONING LOCATION
SURVEY AND LIMITED TOPOGRAPHIC SURVEY THE BOUNDARY
DETERMINATION CATEGORY OF WHICH IS A DEPENDENT SURVEY
CONFORMING TO HORIZONTAL ACCURACY CLASS A-2. THE LOCATION
AND ELEVATIONS OF WHICH CONFORM TO TOPOGRAPHIC ACCURACY
CLASS T-2.

NEW MONUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.



JOHN P. O'BRIEN CT. LIC. # 17110
OFFICE OF MOODY & O'BRIEN, LLC
OCTOBER 03, 2024, STAMFORD, CONN.

31 HOBSON STREET STAMFORD CT RENOVATION AND ADDITION

JIA HUA
ARCHITECT

| REVISION TABLE | NUMBER | DATE | REVISED BY | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

PROJECT OVERVIEW

DRAWINGS PROVIDED BY:

DATE:

4/17/2025

SCALE:

SHEET:

T000

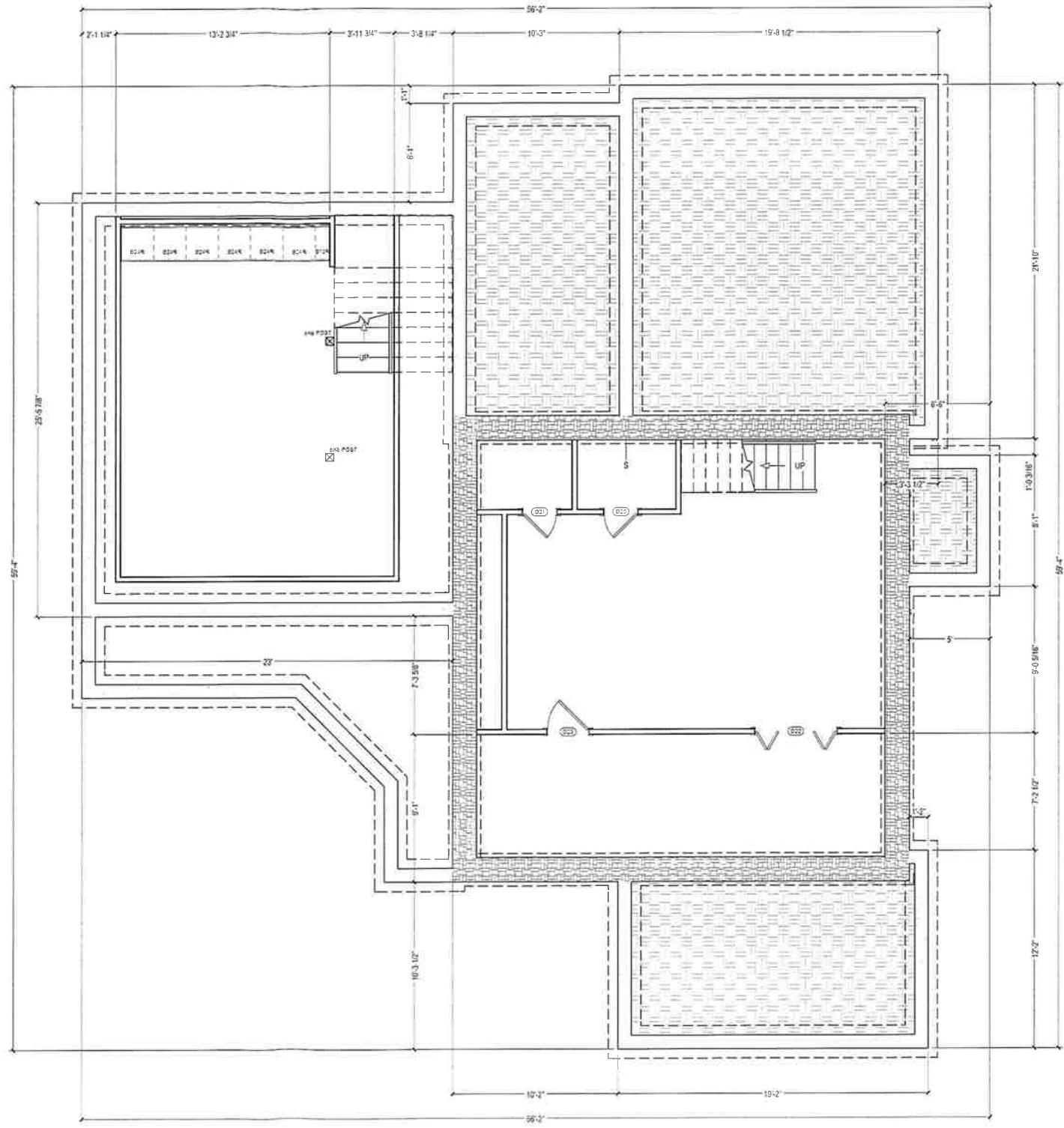
| LAYOUT PAGE TABLE | | | |
|-------------------|----------------------|-------------|----------|
| LABEL | TITLE | DESCRIPTION | COMMENTS |
| T000 | PROJECT OVERVIEW | | |
| EX100 | EXISTING FLOOR PLANS | | |
| A100 | PROPOSED FLOOR PLANS | | |
| EX101 | EXISTING FLOOR PLANS | | |
| A101 | PROPOSED FLOOR PLANS | | |
| EX102 | EXISTING FLOOR PLANS | | |
| A102 | PROPOSED FLOOR PLANS | | |
| EX103 | EXISTING FLOOR PLANS | | |
| A103 | PROPOSED FLOOR PLANS | | |
| EX200 | EXISTING ELEVATIONS | | |
| EX201 | EXISTING ELEVATIONS | | |
| A200 | PROPOSED ELEVATIONS | | |
| A201 | PROPOSED ELEVATIONS | | |

GENERAL NOTES

- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING FOUNDATION WALLS, FOOTINGS, BEARING WALLS AND OTHER RELEVANT STRUCTURAL SUPPORTS BEFORE EXCAVATION. CONTACT STRUCTURAL ENGINEER, ARCHITECT OR HOMEOWNER BEFORE PROCEEDING WITH DEMOLITION WORK IF FIELD CONDITIONS THAT MAY IMPACT STRUCTURAL INTEGRITY OF THE HOUSE IS DISCOVERED ON SITE.
- CONTRACTOR SHALL NOTIFY HOMEOWNER IN ADVANCE OF ALL UTILITY SHUT-DOWNS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL CUT AND CAP ALL UTILITIES AS REQUIRED PRIOR TO REMOVAL OF EXISTING MECHANICAL, ELECTRICAL OR PLUMBING ITEMS.
- CONTRACTOR SHALL DISPOSE OF ALL DEBRIS RESULTING FROM THE WORK OFF-SITE AT AN APPROVED FACILITY.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH ALL APPLICABLE BUILDING, ENVIRONMENTAL, HEALTH, MECHANICAL, PLUMBING AND ELECTRICAL CODES OF THE STATE OF CONNECTICUT AND THE CITY OF DARIEN.
- CONTRACTOR TO COORDINATE SITE LOGISTICS, WORK HOURS AND OPERATION OF NOISE-GENERATING MACHINERY WITH HOME OWNER AND OTHER RELEVANT PARTIES TO MINIMIZE DISTURBANCE TO THE NEIGHBORHOOD.
- CONTRACTOR TO STAGE CONSTRUCTION VEHICLES, MATERIALS AND MACHINERY AT LEAST 50'-0" AWAY FROM EDGE OF WETLAND ZONE, IF APPLICABLE. REFER TO SITE SURVEY FOR LOCATION OF WETLAND ZONE.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS INCLUDING WALL DIMENSIONS, CEILING HEIGHTS, ROOF SLOPES AND WINDOW SIZES PRIOR TO COMMENCING WORK. CONTACT ARCHITECT IF MAJOR DISCREPANCY IS DISCOVERED.
- HOMEOWNER TO SELECT ALL PLUMBING FIXTURES, LIGHTING FIXTURES AND FLOOR & WALL FINISHES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING PLYWOOD OR SHEET METAL GROUNDS AT STUDS IN LOCATIONS OF ALL WALL-MOUNTED BUILT-IN CABINETS, FIXTURES, ACCESSORIES, ETC. IN INSTANCES WHERE AN ITEMS OR ACCESSORY IS TO BE HOMEOWNER-PROVIDED. CONTRACTOR SHALL REFER TO AND COMPLY WITH ALL HOMEOWNER-PROVIDED ACCESSORIES CATALOG CUTS & SPECIFICATIONS AND COORDINATE LOCATIONS AND INSTALLATION OF ALL ACCESSORIES DIRECTLY WITH HOMEOWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL REQUIRED FRAMING, BRIDGING, GROUNDS, ETC. TO SUPPORT ALL NEW RECESSED LIGHT FIXTURES, CEILING FANS, ETC. CONTRACTOR SHALL COORDINATE WITH REQUIREMENTS INHERENT IN ALL LIGHT FIXTURE DETAILS, CATALOG CUTS & SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE AND DOCUMENT THE INSTALLATION OF ALL NEW ELECTRICAL, PLUMBING AND HVAC SYSTEMS AND COMPONENTS.
- ALL DIMENSIONAL LUMBER TO BE PRESSURE-PRESERVATIVE TREATED ENGINEERED LUMBER, DOUGLAS FIR OR SOUTHERN PINE SS OR ABOVE.
- ALL EXTERIOR FASCIAS AND TRIM SHALL BE 5/4 AZEK BOARD OR EQUIVALENT. PRIMED AND PAINTED. ALL NEW WOOD EXTERIOR MOLDINGS AND TRIM SHALL BE PRIMED ALL SIDES PRIOR TO INSTALLATION. COPPER FLASHING WITH DRIP EDGE SHALL BE INSTALLED AT NEW EXTERIOR DOOR AND WINDOW HEAD CASINGS.
- CONTRACTOR TO INSTALL WATER PROOFING AND FLASHING AS NEEDED THROUGHOUT NEW ROOFS, DORMERS, EXTERIOR WALLS INCLUDING FOUNDATION WALLS, BALCONIES, WINDOWS AND DOORS TO ENSURE WATER-TIGHTNESS AND PREVENT LEAKAGE.
- CONTRACTOR TO INSTALL THERMAL INSULATION OVER ENTIRE CEILING OF THE ATTIC AND AT ALL EXTERIOR WALLS AS WELL AS WALLS AND CEILINGS BETWEEN GARAGE AND INTERIOR ROOMS, AS REQUIRED BY BUILDING CODE AND OTHER LOCAL REGULATIONS. CONSULT WITH HOMEOWNER ON TYPES OF INSULATION.
- CONTRACTOR TO APPLY MIN. CLASS II VAPOR RETARDER AT INTERIOR SIDE OF FRAME WALL PER IRC 2021 TABLE R702.7(1)(2)(4).
- THE U-FACTOR AND SHGC OF GLAZED FENESTRATION SHALL COMPLY WITH 2021 IECC R402.
- THE HVAC SYSTEM IS TO BE FUEL FIRED FORCED AIR.
- ALL OUTLETS IN THE KITCHEN, BATHROOMS, BASEMENT AND GARAGE ARE TO BE GFCI OUTLETS. ALL OTHER OUTLETS ARE TO BE AFCI OUTLETS.

APPLICABLE BUILDING CODES:

- 2021 IRC PORTION OF 2022 CONNECTICUT STATE BUILDING CODE
- 2021 IPC PORTION OF 2022 CONNECTICUT STATE BUILDING CODE
- 2021 IMC PORTION OF 2022 CONNECTICUT STATE BUILDING CODE
- 2022 CONNECTICUT STATE FIRE SAFETY CODE
- 2021 IECC PORTION OF 2022 CONNECTICUT STATE BUILDING CODE
- 2020 NEC PORTION OF 2022 CONNECTICUT STATE BUILDING CODE



EXISTING BASEMENT FLOOR PLAN



JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

EXISTING FLOOR PLANS

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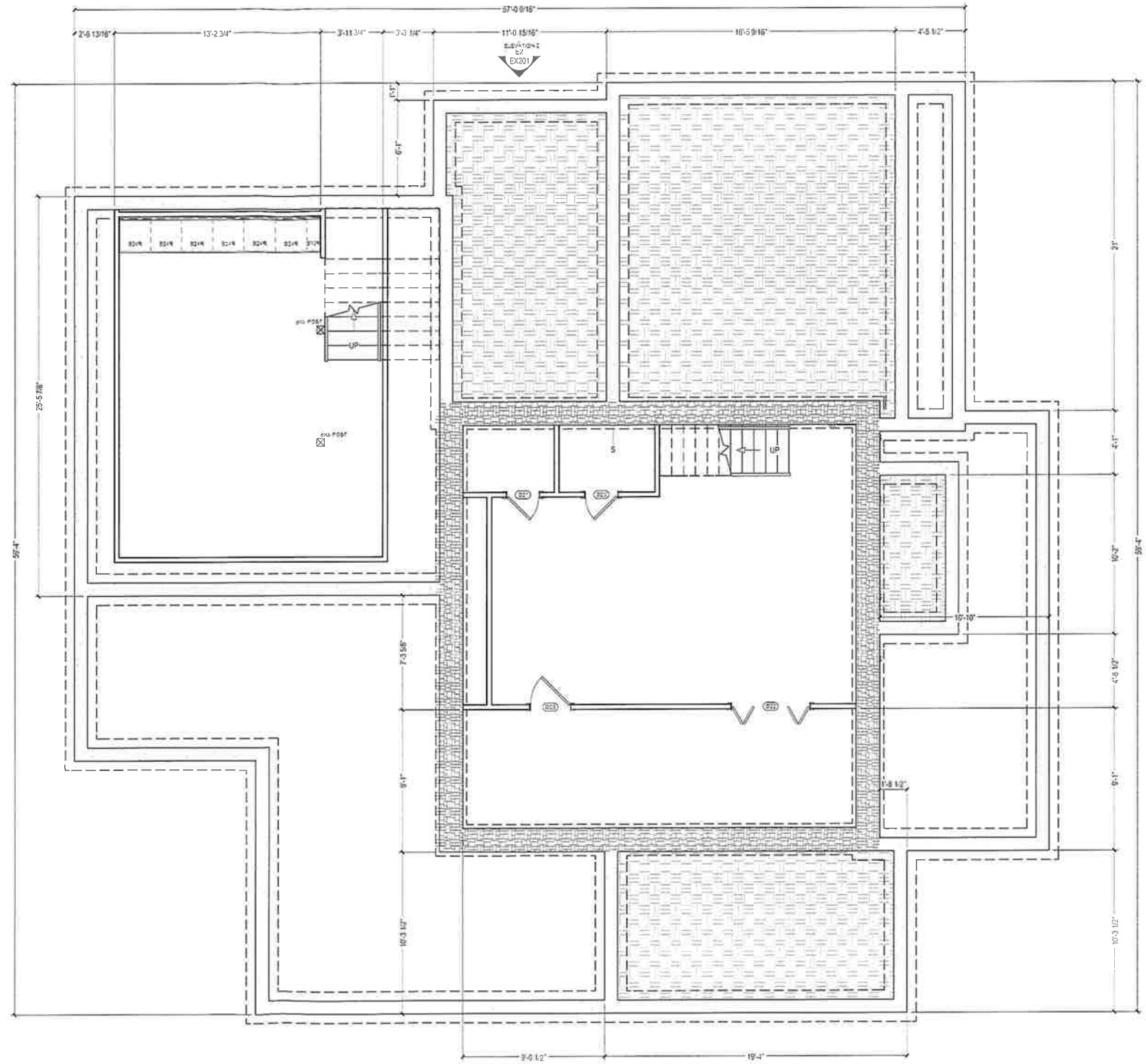
4/17/2025

SCALE:

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EX100



PROPOSED BASEMENT PLAN

JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

PROPOSED FLOOR
PLANS

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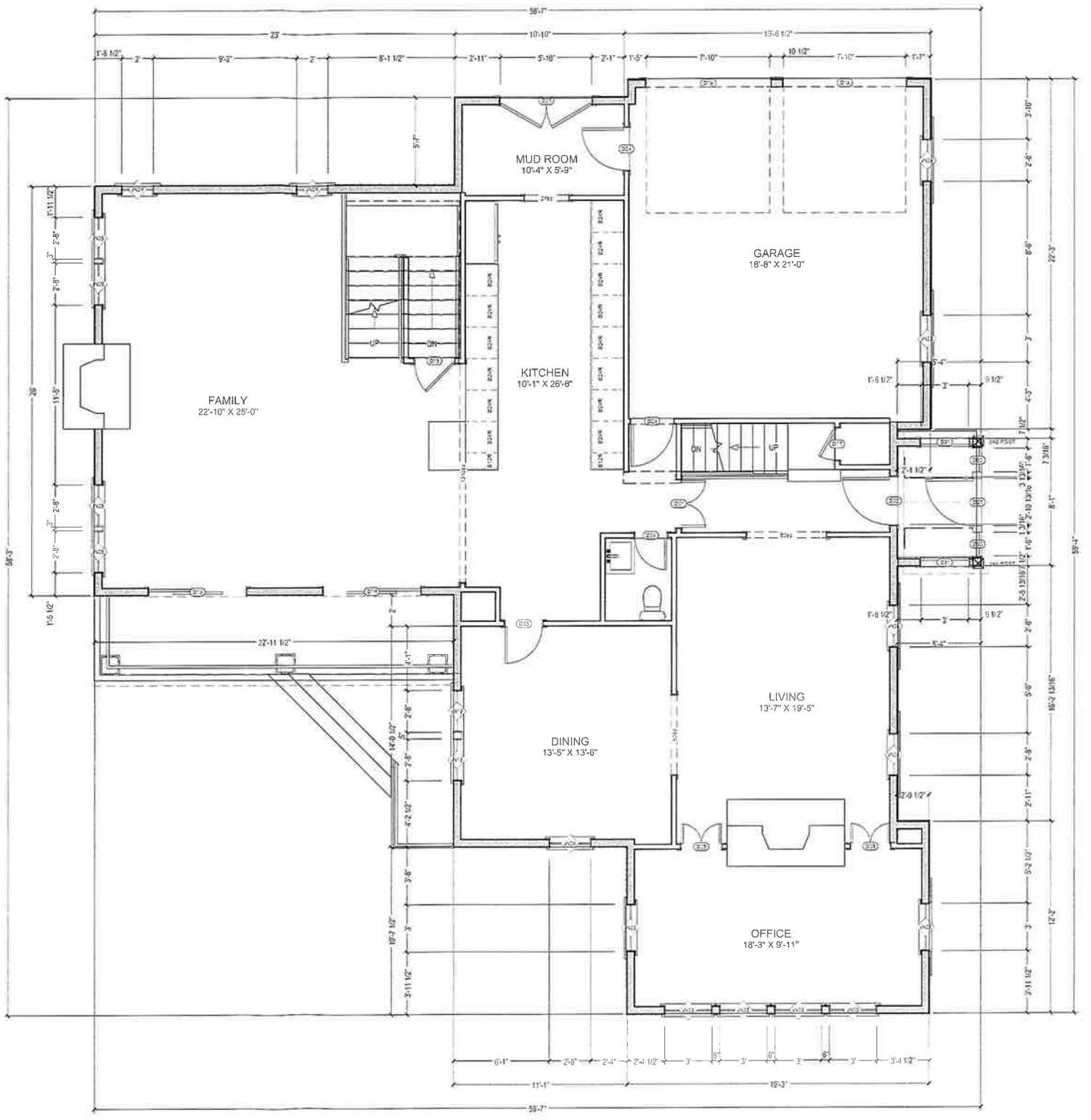
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EXISTING FIRST FLOOR PLAN

JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

EXISTING FLOOR PLANS

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31 HOBSON ST
STAMFORD CT

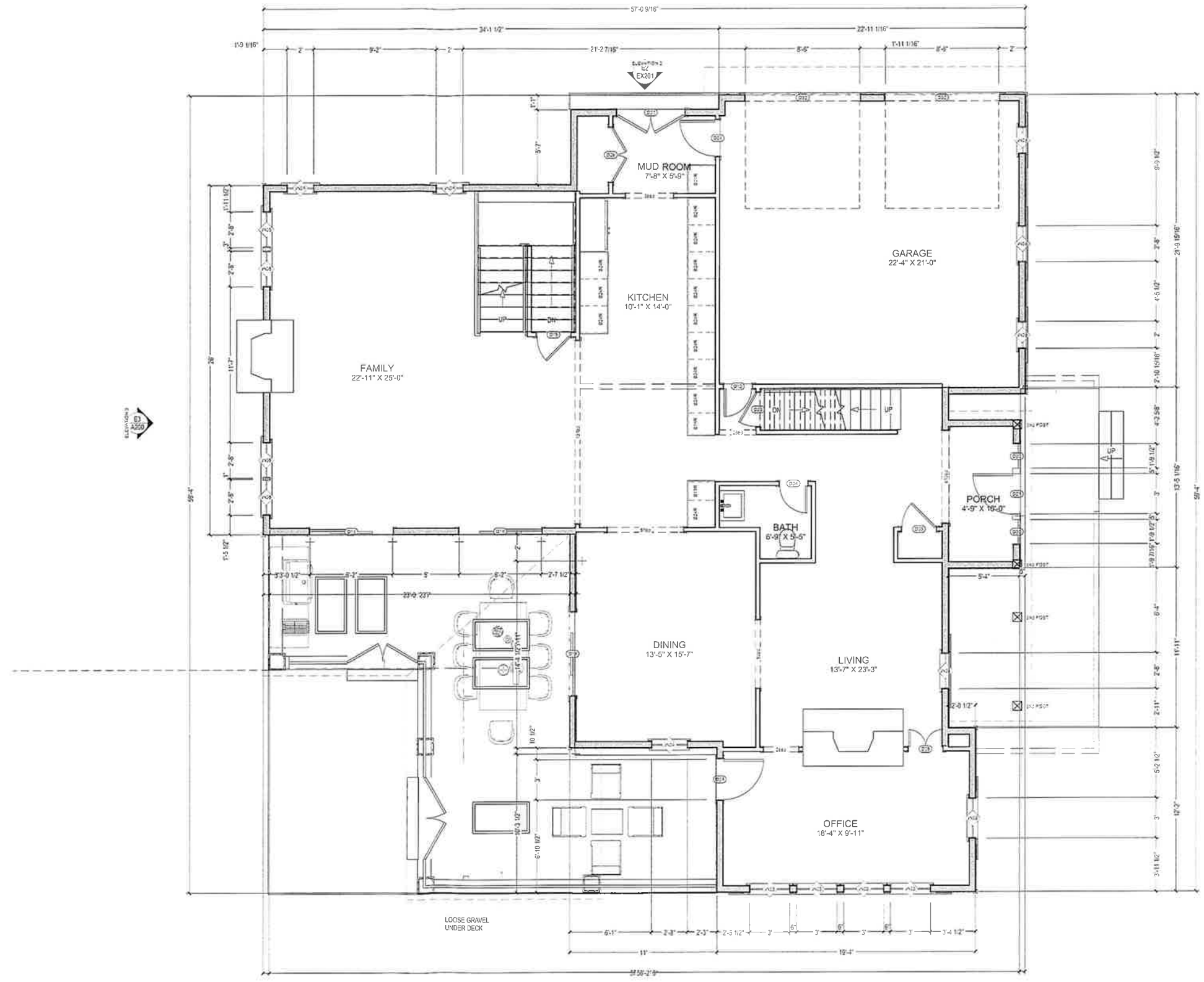
PROPOSED FLOOR
PLANS

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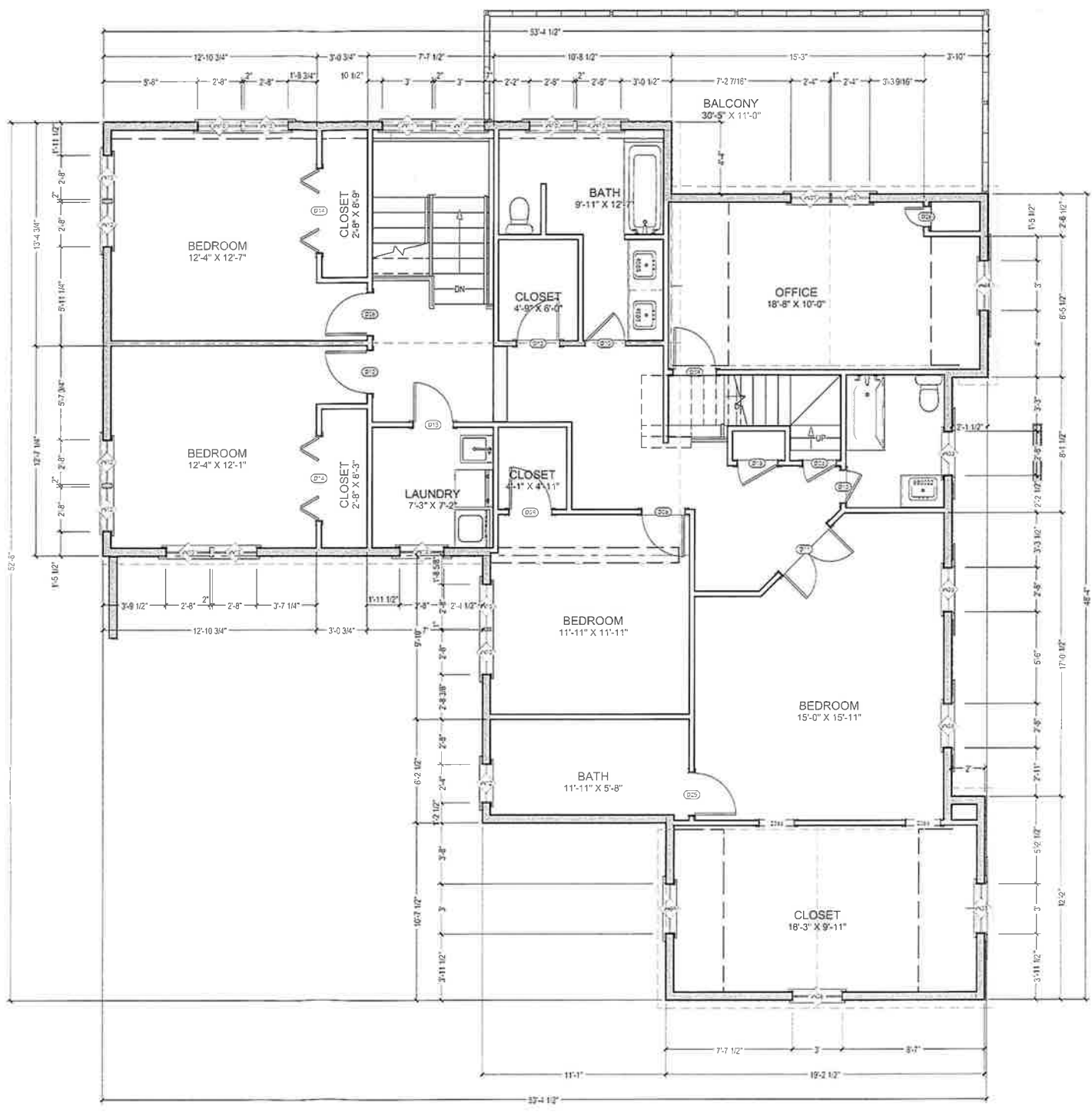
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4/17/2025

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PROPOSED FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN

JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

EXISTING FLOOR PLANS

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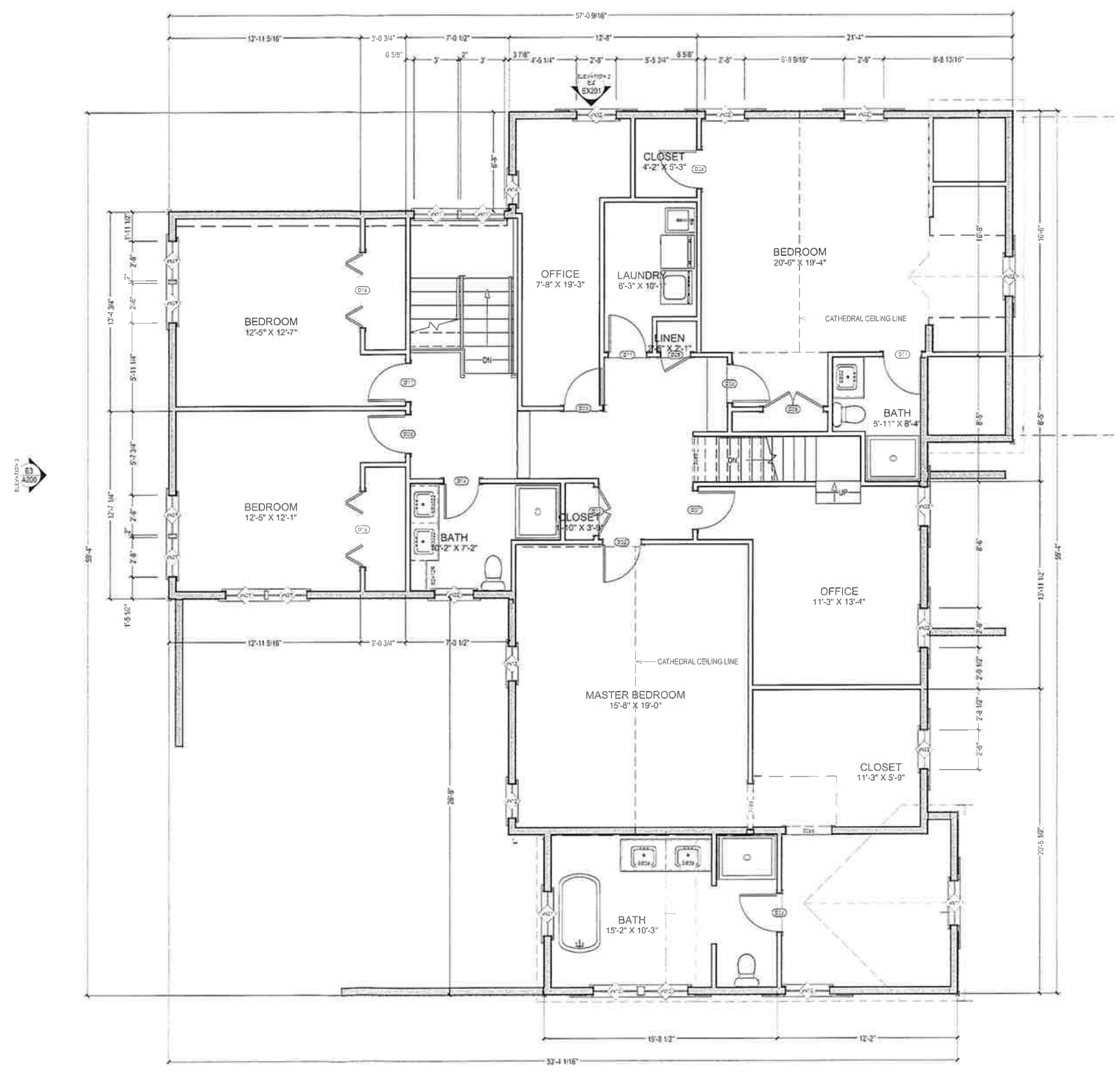
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SCALE:

1/4"=1'-0"

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EX102



PROPOSED SECOND FLOOR PLAN

JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

PROPOSED FLOOR
PLANS

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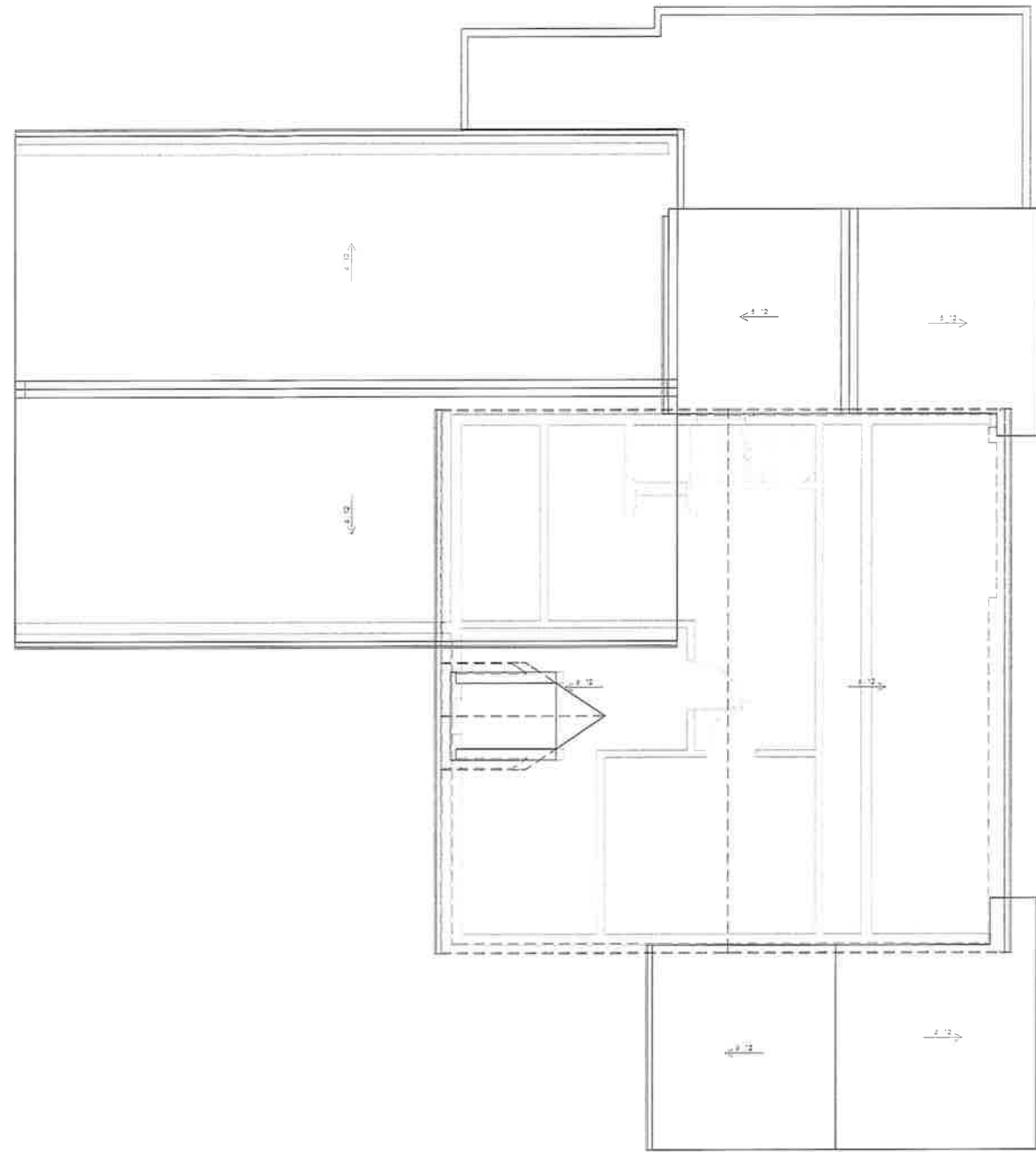
4/17/2025

SCALE:

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A102



EXISTING ROOF PLAN

JIA HUA
ARCHITECT

| REVISION TABLE | REVISION BY | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

EXISTING FLOOR PLANS

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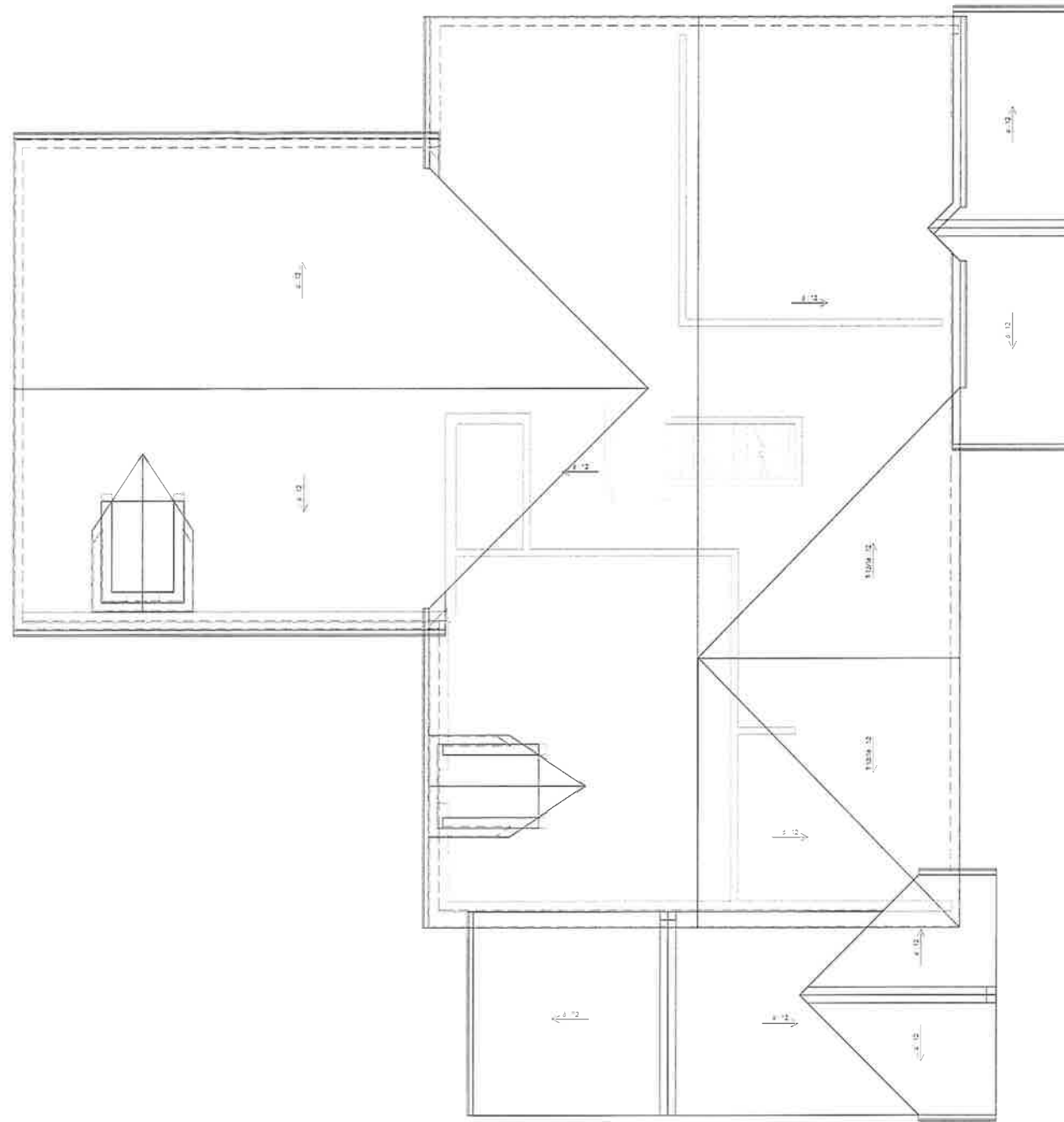
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EX103



PROPOSED ROOF PLAN

JIA HUA ARCHITECT

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31 HOBSON ST
STAMFORD CT

PROPOSED FLOOR
PLANS

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| REVISION TABLE | NUMBER | DATE | REVISED BY | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

EXISTING ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

4/17/2025

SCALE:

1/4"=1'-0"

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EX200



EXISTING Elevation 1-EAST SIDE



PROPOSED Elevation 1-EAST SIDE



EXISTING Elevation 2-WEST SIDE



PROPOSED Elevation 2-WEST SIDE

JIA HUA ARCHITECT

| REVISION TABLE | NUMBER | DATE | REVISION BY | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

EXISTING ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

4/17/2025

SCALE:

1/4"=1'-0"

SHEET:

EX201



EXISTING Elevation 3-SOUTH SIDE



PROPOSED Elevation 3-SOUTH SIDE

JIA HUA ARCHITECT

| REVISION TABLE | NUMBER | DATE | REVISION BY | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

PROPOSED ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

4/17/2025

SCALE:

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| REVISION TABLE | NUMBER | DATE | REVISOR | DESCRIPTION |
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31 HOBSON ST
STAMFORD CT

PROPOSED ELEVATIONS

DRAWINGS PROVIDED BY:

DATE:

4/17/2025

SCALE:

1/4"=1'-0"

SHEET:

A201



EXISTING Elevation 4-NORTH SIDE



PROPOSED Elevation 4-NORTH SIDE