

ZONING BOARD OF APPEALS
(203) 977-4160

Chair
Joseph Pigott



MAYOR
CAROLINE SIMMONS
LAND USE BUREAU CHIEF
RALPH BLESSING

CITY OF STAMFORD, CONNECTICUT
STAMFORD GOVERNMENT CENTER
888 WASHINGTON BOULEVARD
P.O. BOX 10152
STAMFORD, CT 06904 - 2152

RECEIVED

MAR 4 2025

DATE: March 4, 2025
TO: L. Cohen, Planning Board
F. Petise, Transportation
R. Clausi, Environmental Protection Board
S. Kiskin, Engineering
FROM: Zoning Board of Appeals
RE: Referrals

PLANNING BOARD

In accordance with the Section 19 of the Zoning Regulations, the following applications and maps are being referred to your agency for comments:

#007-25 2517 Long Ridge Road

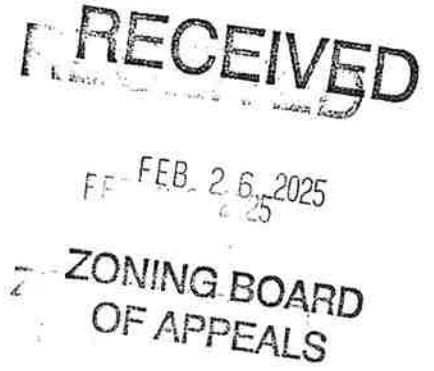
Please respond by April 4, 2025.

**CITY OF STAMFORD
ZONING BOARD OF APPEALS**

Stamford Government Center
888 Washington Blvd.
P.O. Box 10152
Stamford, CT 06904-2152

Telephone 203.977.4160 - Fax 203.977.4100 - E-mail mjudge@stamfordct.gov

PLEASE PRINT ALL INFORMATION IN INK



1. I/we hereby apply to the Zoning Board of Appeals for:

- Variance(s)
- Special Permit
- Appeal from Decision of Zoning Enforcement Officer
- Extension of Time
- Gasoline Station Site Approval

2. Address of affected premises:

2517 Long Ridge Road, Stamford, CT 06903

street

zip code

Property is located on the north south east west side of the street.

Block: 3577 Zone: RA-2

Sewered Property yes no

Is the structure 50 years or older yes no

Corner Lots Only: Intersecting Street: _____

Within 500 feet of another municipality: No Yes Town of _____

3. Owner of Property: Stamford Meeting Hall, Inc.

Address of Owner: 1318 Long Ridge Road, Stamford, CT Zip 06903

Applicant Name: Stamford Meeting Hall, Inc.

Address of Applicant 1318 Long Ridge Road, Stamford, CT Zip 06903

Agent Name: Leonard Braman, Esq., Wofsey, Rosen, Kueskin & Kuriansky, LLP

Address of Agent: 600 Summer Street, 7th Floor, Stamford, CT Zip 06901

EMAIL ADDRESS: Lbraman@wrkk.com

(Must be provided to receive comments from letters of referral)

Telephone # of Agent 203-354-1282 Telephone # of Owner 203-354-1282

(CONTACT IS MADE WITH AGENT, IF ONE)

4. List all structures and uses presently existing on the affected property:

Vacant swim and tennis club buildings, swimming pools, tennis courts and associated amenities.

5. Describe in detail the proposed use and give pertinent linear and area dimensions:

See attached Project Narrative and Plans.

VARIANCES (complete this section for variance requests only) See a Zoning Enforcement Officer for help in completing this section

**Variance(s) of the following section(s) of the Zoning Regulations is requested
(provide detail of what is sought per the applicable section(s) of the Zoning Regulations):**

DO NOT WRITE ON BACK OF PAGE

Variance of the Zoning Regulations **may** be granted where there is unusual hardship in the way of carrying out the strict letter of the Regulations solely with respect to a parcel of land where conditions especially affect such parcel but do not affect generally the district in which it is situated. In your own words:

A. Describe the unusual hardship in being unable to carry out the strict letter of the Zoning Regulations:

B. Explain why the variance(s) is/are the minimum necessary to afford relief:

C. Explain why granting of the variance(s) would not be injurious to the neighborhood.

SPECIAL PERMIT

(Complete this section **only** for special permits)

SPECIAL PERMIT is requested as authorized by Section(s) 2.C and Appendix A, Table I of the Zoning Regulations.

Provide details of what is being sought:

See attached Project Narrative and Plans.

In order to construct a house of

worship on this site.

DO NOT WRITE ON BACK OF PAGE

SIGNATURE REQUIRED FOR ALL APPLICATIONS



Signature of : Agent Applicant Owner

Date Filed: 2/26/2025

Zoning Enforcement Officer Comments:

DECISION OF THE ZONING ENFORCEMENT OFFICER

(Complete this section **only** for appeals of zoning enforcement officer decision:

DECISION OF THE ZONING ENFORCEMENT OFFICER dated _____ is appealed because:

DO NOT WRITE ON BACK OF PAGE



CITY OF STAMFORD
ZONING BOARD OF APPEALS
APPLICATION PACKET

Board Members
Joseph Pigott, Chair
Lauren Jacobson
George Dallas

Alternate
Ernest Matarasso
Matthew Tripolitsiotis
Jeremiah Hourihan

ALL APPLICANTS MUST MAKE AN APPOINTMENT WITH THE ZONING ENFORCEMENT OFFICE FOR PLAN REVIEW OF ZBA APPLICATIONS AT LEAST TWO WEEKS PRIOR TO THE APPLICATION DEADLINE.

Zoning Enforcement: [Signature] Date: 2/26/2025

Is the project situated in the coastal boundary? Yes () No (x)

Is the project exempt from the coastal regulation? Yes () Exemption # _____ No () N/A (x)

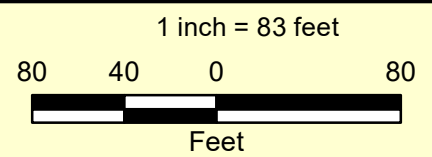
Environmental Protection: _____ Date: _____

CAM Review by: [] ZONING BOARD [] ZBA



ZBA Application #007-25
2517 Long Ridge Road

Date: 3/26/2025



SPECIAL PERMIT APPLICATION NARRATIVE - 2517 Long Ridge Road

Introduction & Background

The Stamford Meeting Hall, Inc. (the “Applicant”) owns the property located at 2517 Long Ridge Road, Stamford in the RA-2 One Family Residence District (the “Property”). The Property consists of 14.9 acres and was formerly the Long Ridge Swim and Tennis Club (a pre-existing Special Permit use) for many years. Since the club’s departure in 2017, however, the Property has been abandoned. The Applicant purchased the Property in January 2024, and seeks to redevelop the vacant site into a church for worshippers of the Plymouth Brethren Christian Church, a congregation with about 100 members in Stamford that has been part of this community since 1917.

The Property has several existing Special Permits for the operation of the swim and tennis club in a residential zone. The Applicant seeks a Special Permit to redevelop the site into a church, a less intensive and less obtrusive use than the former club. Under the Zoning Regulations (App’x. A, Table I), “Churches, Religious Institutions, and Houses of Worship” are subject to special permit approval by the Zoning Board of Appeals (ZBA).

The Property is currently about 42% developed with the existing abandoned buildings, swimming pools, tennis courts and associated amenities. Mature wooded areas encompass the existing developed area with a vegetative buffer depth ranging from 60’ to 150’ to the property lines. The site’s topography features moderate to steep terrain rising up from the developed area to the north, west, and south property lines. The Property contains wetlands and a watercourse (a pond), and on January 16, 2025, the project received unanimous approval and a permit from Stamford’s Environmental Protection Board.

All existing structures and facilities will be demolished or abandoned as part of the redevelopment project except for the main access drive and intersection with Long Ridge Road and existing septic, well, and electric utilities. The proposed redevelopment will consist of a new 9,215 sf. church building (10,700 sf. footprint) with a service occupancy of 546 persons (seats). The redevelopment will be located within the original 6.2-acre (42% of the site) development pad of the former swim/tennis club. Limits of historical tree clearing will remain, with restoration of perimeter areas with native grasses and plantings to further reduce the maintenance footprint.

The project will have significant benefits for the neighborhood. Among other things, it will: (1) take a site that is currently a vacant and overgrown eyesore and redevelop it into a new house of worship; (2) beautify and enhance the site and the environment through new landscaping including trees, shrubs, foundation plantings, beds, and native/conservation plantings; and (3) provide drainage improvements, including a stormwater collection and treatment network. The swimming pool and tennis courts with their attendant crowds, noise, and outdoor lighting will be removed, facilitating the peaceful enjoyment of the neighborhood. Moreover, the proposed new facility will be primarily used during the weekends (mainly Sundays), and thus will be much quieter during the week than the prior swim/tennis club use, which operated seven days a week. The comprehensive traffic analysis submitted with this application confirms that there will be no negative impact on traffic.

Thus, the Applicant seeks a Special Permit for a change in the use of the Property from one special permit use to a less intensive one. Respectfully, because the proposed project meets all the Special Permit criteria in the Regulations and will harmonize with the neighborhood and cause no adverse impacts, the Special Permit should be granted.

All of the Special Permit Factors Are Satisfied

The ZBA's granting of a Special Permit is governed by Section 2.C of Stamford's Zoning Regulations ("Zoning Regs."), which provides that the ZBA shall grant a special permit when the proposed use is "in accord with the public convenience and welfare." Zoning Regs. § 2.C.2.a. This determination is based on the consideration of five factors to the extent they are appropriate: (1) the location and nature of the proposed site; (2) the nature and intensity of the proposed use in relation to its site and the surrounding area; (3) the impact on traffic patterns; (4) the nature of the area and whether the proposed use impairs present and future development; and (5) the Master Plan of the City of Stamford and the purpose and intent of the Zoning Regs. *Id.*¹ The ZBA has no discretion to deny the special permit if the regulations and statutes are satisfied. *Quality Sand & Gravel, Inc. v. Torrington Planning & Zoning Commission*, 55 Conn. App. 533, 537 (1999). Here, all the Special Permit factors are amply met.²

1. *Location and nature of the proposed site.*

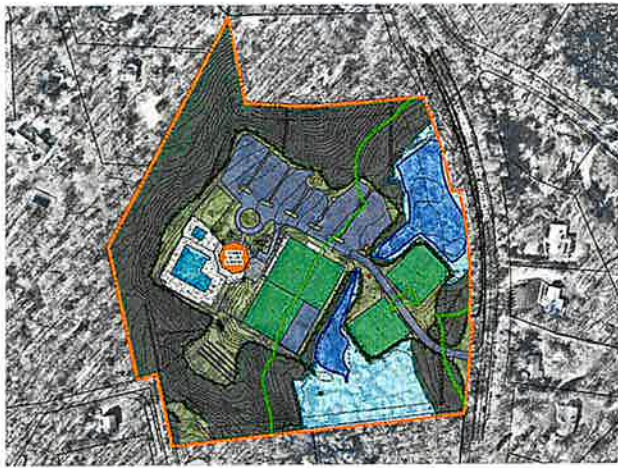
Under this factor, the ZBA considers "the location and nature of the proposed site including its size and configuration, the proposed size, scale and arrangement of

¹ Additional standards apply to Special Permits within single family districts *unless* the proposed use, among other things, *relies on an existing non-residential use or structure erected prior to September 13, 1994, if the proposed use does not result in new or increased non-conformities*. Zoning Regs. § 2.C.2.e. Here, the Property was long subject to prior non-residential uses as the swim and tennis club, and is therefore exempt from these additional standards; the project proposes not a single new or increased non-conformity. In any event, the Applicant nonetheless *meets* all the standards in Section 2.c.2.e of the Regulations. (*See* Site Plan, Sheet 2, Zoning Table.)

² Moreover, as a proposed religious land use, the project is subject to the federal Religious Land Use and Institutionalized Persons Act, 42 U.S.C. § 2000cc *et seq.* ("RLUIPA"), as well as Connecticut's Religious Freedom Act, Conn. Gen. Stat. § 52-571b ("RFA"). Under RLUIPA and RFA, a religious use must be treated similarly to other similarly-situated religious and non-religious uses for zoning purposes, and limitations of a religious use may not unreasonably burden the free exercise of religion.

Structures, drives and Parking Areas and the proximity of existing Dwellings and other Structures.” Zoning Regs. § 2.C.2.a.1.

The proposed site was previously used by the Long Ridge Swim & Tennis Club. The Applicant does not propose expanding the size of the developed area beyond the tennis club’s previously approved use. Nor does the Applicant propose changing the configuration of the site to further encroach on existing dwellings or structures outside of the site. Instead, the Applicant’s proposal is confined to the same area as the tennis club, and even eliminates some of the structures on the perimeter closest to neighboring houses:



Long Ridge Swim and Tennis Club



Applicant’s proposed use.

2. *Nature and intensity of the proposed use in relation to its site and the surrounding area.*

Under this factor, the ZBA considers “the nature and intensity of the proposed use in relation to its site and the surrounding area. Operations in connection with Special Permit uses shall not be injurious to the neighborhood, shall be in harmony with the general purpose and intent of these Regulations, and shall not be more objectionable to nearby properties by reason of noise, fumes, vibration, artificial lighting or other potential

disturbances to the health, safety or peaceful enjoyment of property than the public necessity demands.” Zoning Regs. § 2.C.2.a.2.

Here, the nature and intensity of the Applicant’s proposed use is more in harmony and less injurious and objectionable to the neighborhood than the Long Ridge Swim & Tennis Club’s prior approved use. The Applicant currently has a congregation of about 100 Stamford and local residents and virtually all of its activities will be indoors, within the proposed new church building. By contrast, the swim and tennis club’s prior approved use allowed for many hundreds of members, and their uses included outdoor (illuminated) tennis courts and swimming pools, and other outdoor amenities that generated significantly more crowds, noise, and light pollution than the proposed church use. Indeed, the proposed new use will further the neighbors’ peaceful enjoyment of their own properties.

3. *Impact on traffic patterns.*

Under this factor, the ZBA considers “the resulting traffic patterns, the adequacy of existing Streets to accommodate the traffic associated with the proposed use, the adequacy of proposed off-street parking and loading, and the extent to which proposed driveways may cause a safety hazard, or traffic nuisance.” Zoning Regs. § 2.C.2.a.3. “[T]he zoning commission may consider off-site traffic conditions only for the limited purpose of reviewing the internal traffic circulation on the site and determining whether the location of the proposed [roads and driveways] would minimize any negative impact of additional traffic to the existing traffic.” *Cambodian Buddhist Society of Connecticut, Inc. v. Newtown Planning & Zoning Commission*, 285 Conn. 381, 431 (2008) (internal quotation marks and citations omitted). The traffic impact “should not be measured merely by the

number of additional vehicles but by the effect that the increase in vehicles will have on the existing use of the roads.” *Id.* at 434.

Here, the Applicant has conducted a comprehensive traffic evaluation which concludes that the proposed new use “will have no significant impact on Long Ridge Road during the peak hours of Long Ridge Road or the church.” (Traffic Study Memorandum 1.) The Applicant’s proposed (largely weekend) use will certainly not add to workday traffic or to the neighbors’ commutes. There will be no significant impact on roadway level of service for the site driveway intersection, and off-site roadways will readily accommodate the proposed development without significant impacts to traffic operations. (*Id.* at 10.) The Applicant is actually increasing available sight distance exiting the driveway onto Long Ridge Road – enhancing traffic safety over existing conditions – by proposing to remove existing vegetation. (*Id.*)

4. ***Nature of the area and whether the proposed use impairs present and future development.***

Under this factor, the ZBA considers “the nature of the surrounding area and the extent to which the proposed use or feature might impair its present and future Development.” Zoning Regs. § 2.C.2.a.4.

Here, the Applicant’s proposed use revitalizes the currently abandoned swim/tennis club at the site. The tennis club has sat untended for years and has become an overgrown eyesore that brings no economic value. The Applicant’s proposed use refreshes and beautifies this dilapidated lot. Moreover, the Applicant’s proposed use shrinks the current encroachment into the upland review area near the wetlands while enhancing landscaping (including native plantings) and stormwater drainage – key aspects of EPB’s unanimous approval of the project. Far from impairing or inhibiting future use of surrounding

properties, the Applicant’s proposed use encourages present and future development by respecting and reinvigorating this part of Stamford.

5. ***Master Plan of the City of Stamford and the purpose and intent of the Stamford Zoning Regs.***

Under this factor, the ZBA considers “the Master Plan of the City of Stamford and all statements of the purpose and intent of these regulations.” Zoning Regs. § 2.C.2.a.5.

The Applicant’s proposed use is firmly in accord with the Master Plan and the Zoning Regulations. The Property is located within Master Plan Category 1 (Residential Very Low Density Single-Family). Category 1’s description in the Master Plan provides, in part:

This category is intended to provide for and protect a suitable environment for single-family dwellings, as well as compatible uses (e.g., schools, houses of worship, clubs and institutions) as may be permitted by Special Exception being in general harmony with and supportive of very low-density single-family neighborhoods.

Thus, the text of the Master Plan itself (as well as the inclusion of houses of worship as a suitable Special Permit use in residential zones in Appendix A, Table I in the Zoning Regs.) confirms that a house of worship such as the one proposed is by nature “in general harmony with and supportive of the surrounding residential neighborhood. In this way, the project is also consistent with Master Plan Policy Recommendation 6A.1: “Balance new development with preservation of existing residential communities....”

* * *

The granting of a Special Permit is especially proper here, where the Property has long been subject to non-residential special permit uses and the Applicant simply proposes to convert the site to a less-intensive special permit use with lower impact on the surrounding neighborhood. Indeed, granting the Special Permit sought here will benefit the neighborhood

in the numerous respects described above. For all of the foregoing reasons, we ask this Board to grant the requested Special Permit.

THE APPLICANT,
STAMFORD MEETING HALL, INC.

By: /s/ Leonard M. Braman
Leonard M. Braman, Esq.
Tyler W. Flynn, Esq.
Wofsey, Rosen, Kveskin & Kuriansky, LLP
600 Summer Street, 7th Floor
Stamford, CT 06901
T: 203-327-2300/F: 203-967-9273
Juris No.: 068550



STAMFORD MEETING HALL
2517 LONG RIDGE ROAD
STAMFORD, CONNECTICUT

COMMENT RESPONSE SUMMARY

FROM: Susan Kisken, P.E.
DATE: February 26, 2025
RE: EPB Application No. 2024-25, 2517 Long Ridge Road

ENGINEERING COMMENTS 1/6/25

1. Revise narrative, private water supply, not public.
Response. The narrative has been corrected in the revised SMR submission.
2. A State of Connecticut Encroachment Permit may be required.
Response. Noted.
3. Approval from the Health Department will be required.
Response. The revised plan set will be submitted to the Health Department as required.
4. Consider increasing pipe sizes so that flows are open channel.
Response. The stormwater collection system has been reconfigured to address comment #26. Revised pipe flow calculations have been prepared to confirm necessary pipe sizes to achieve open channel flow where possible. Calculations included in revised report.
5. Video all pipes to remain, specifically the 36" pipe.
Response. The 36" RCP culvert was inspected and is in satisfactory condition. Minor debris was collected at the entrance which can be removed by hand. Current photographs are included in the revised SMR submission.
6. Identify the outfall of roof drainage system. Show the entire roof drainage system. Provide cleanouts as necessary.
Response. Labels have been added to Sheet 4 depicting the connection points for the roof leaders. Final connection points will be coordinated with the architectural and MEP plans.
7. Provide additional spot elevations around buildings to ensure positive drainage. Provide spot elevations for the tops of berms and the bottoms of basins.
Response. Addition spot elevations added to Sheet 4. Grade to drain arrows are also provided to the north of the building.
8. Provide details for infiltration basins included soil strata and depths. Provide clear details of weirs, overflow weirs, and underdrain.
Response. Detail sheets have been added to the revised plan set as requested.
9. A Landscape Maintenance Agreement will be required.
Response. Noted. This agreement will be executed as required.
10. A Drainage Maintenance Agreement will be required.



Response. Noted. This agreement will be executed as required.

11. Is there an increase in runoff to the 36" pipe crossing under the access drive?

Response. No. There is a slight decrease in flow to the 36" RCP entrance.

12. Provide all necessary construction details.

Response. Design details have been added to the revised plan set as requested.

13. Provide 2 foot sump, and bell trap or pvc elbow on the outlet pipe, to all catchment structures including yard drains.

Response. Drainage Note 3b on Sheet 4 requires 2' sumps and trap hoods. A detail has been added to the revised plan set.

14. Provide CTDOT trench repair detail.

Response. Trenching within the DOT road should not be required. If utility or trenching is required the necessary detail will be added to the plans.

15. Consider reducing the accessway drives to 22 feet.

Response. The easterly and westerly access drives have been reduced to 22' as requested.

16. Confirm volume provided on LID plan to each treatment area.

Response. Required and proposed WQV are labeled on the LID plan, which is included in Appendix A of the revised SMR submission.

17. Exfiltration shall not be considered in the drainage model.

Response. The exfiltration rate of 0.30 in/hour is the minimum infiltration rate for soils within Hydrologic Soil Group B to estimate the worst case drain time for the basin. As required, the exfiltration rate has been removed from the model and the updated output is included in the revised SMR submission.

18. Provide drainage basin areas input information used in model for existing and proposed.

Response. Watershed input information is provided on the Hydrograph Report for each area.

19. A State of CT DEEP permit/filing for construction activities may be required.

Response. We anticipate that the project will be defined as a "small construction" project with a total disturbance between 1 and 5 acres for which registration is not required. However, the DEEP registration and certification requirements will be evaluated after completion of local permitting.

20. Will the existing well to remain by the existing drive and tennis court be used

Response. We are in the process of investigating which on-site well currently serves the existing swim and tennis club building. Based on Health Department records one of the existing wells to the south or southeast of the redevelopment area serves the existing building. At this time we are proposing to connect to the existing service pipe at the original building. All existing wells will remain until the final design and registration with CT DPH is complete.



21. Will the existing electrical box next to the existing drive and tennis court remain?

Response. The electrical box will be removed and associated wiring abandoned.

22. Provide sediment and erosion controls around utility trenches.

Response. Controls have been added and labeled on Sheet 6 around utility trenches.

23. Provide lighting plan, if applicable, including access drive.

Response. A lighting design plan is included in the revised site plan set.

24. Approval from the Fire Marshall will be required.

Response. Noted.

25. Slopes shall not exceed 1 horizontal on 3 vertical.

Response. In general all proposed slopes are 1:3 or less. The cut slope to the northeast of the proposed building is shown at 1:2 to preserve the existing limit of disturbance. As requested on our review call, information has been added to the ESC plan on Sheet 6 noting that the slope needs to have riprap embankment stabilization or other engineered methods approved by the City.

26. All parking areas shall be treated via an oil separator prior to discharging into any infiltration system or outfall.

Response. The grading and stormwater collection system has been revised to route runoff from new access drives and parking areas through Hydroworks HydroStorm hydrodynamic separator units. These treatment structures are sized to treat the WQF prior to discharging to the sediment forebays and WQV retainer cells.

27. Include 1 year storm per City of Stamford Stormwater Drainage Manual.

Response. The 1-year storm results are included in the revised SMR submission.

28. Provide simple chart comparing water quality volume required and proposed.

Response. A chart comparing required treatment vs. proposed methods is included in the revised SMR.

29. Why are existing flows different from the May 31, 2022, Stormwater Drainage Report prepared for this site.

Response. The analysis included in the SMR is based on a new wetland delineation and survey information. As the watershed areas correspond with the limits of the wetlands and surveyed features, minor changes can be expected.

30. Will the decrease in runoff to the wetlands have an adverse impact on the wetlands.

Response. We do not anticipate any adverse impacts to the wetlands associated with the reduction in runoff for proposed conditions. By reducing impervious surfaces, restoring the upland review areas, and incorporating treatment structures that retain 90% of rainfall events, the reduction in peak flows are trending towards the original pre-development conditions.



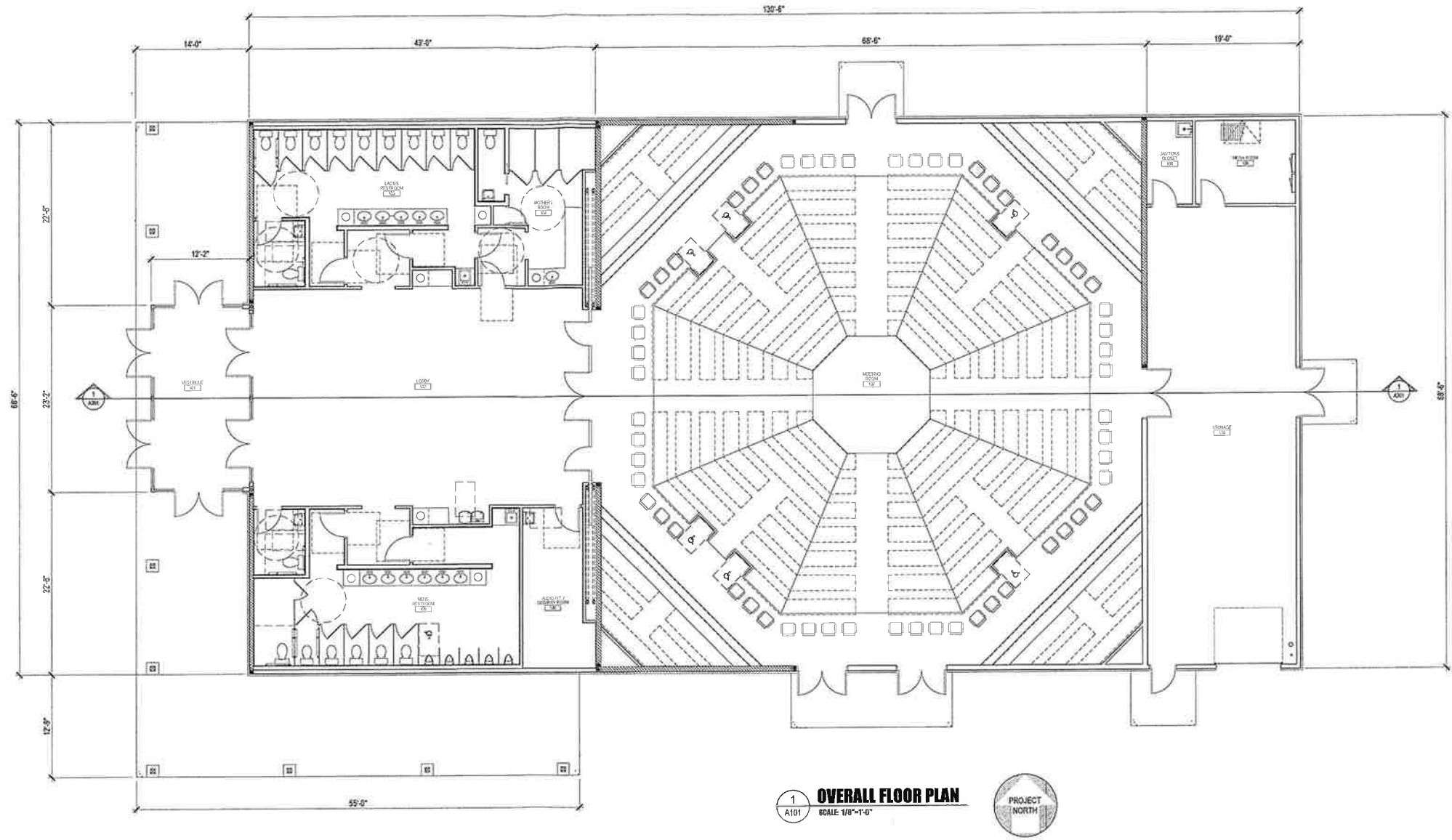
STAMFORD MEETING HALL
2517 LONG RIDGE ROAD
STAMFORD, CONNECTICUT

31. Provide inlet analysis.

Response. Inlet analysis results for the collection system is included in the revised SMR.

32. The Engineering Bureau reserves the right to make additional comments once detailed plans and Stormwater Management Report are received and reviewed.

Response. Noted.



8427 Woodside Drive
 Shelton, CT 06487
 (717) 412-0024
 (717) 283-0007
 An LLC Company
 JOSEPH TUKONOVICH, AIA, NCARB

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REVISIONS

NUMBER	DATE	REVISED BY

DATE FEBRUARY 4, 2025

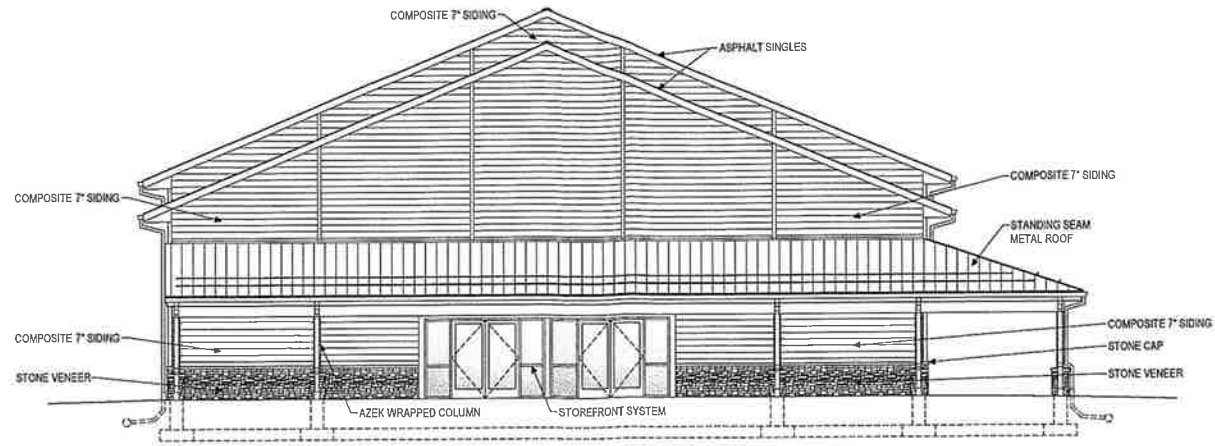
DRAWN BY WJZ

PROJECT NUMBER 24119

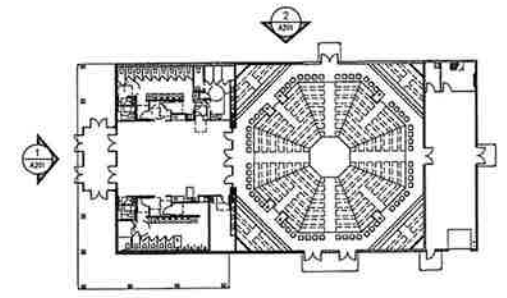
NEW FACILITY FOR:
STAMFORD MEETING ROOM, INC.
 770 WEST HILL ROAD
 STAMFORD, CT 06902
OVERALL FLOOR PLAN

FAIRFIELD COUNTY

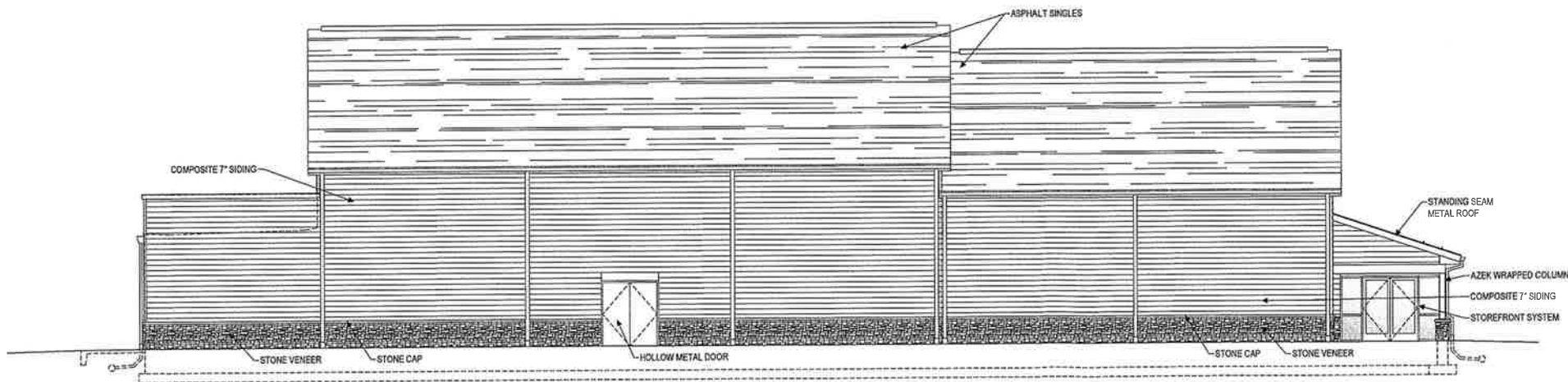
A101
 DRAWING NUMBER



1
A201
FRONT ELEVATION
SCALE: 1/8"=1'-0"



A
A201
KEY PLAN
SCALE: N.T.S.



2
A201
SIDE ELEVATION
SCALE: 1/8"=1'-0"

5127 Fossilville Blvd
Opa, PA 15857
(717) 442-2224
(717) 368-9997
An LLC Company
JOSEPH TURKOWICZ, AIA, NCARB

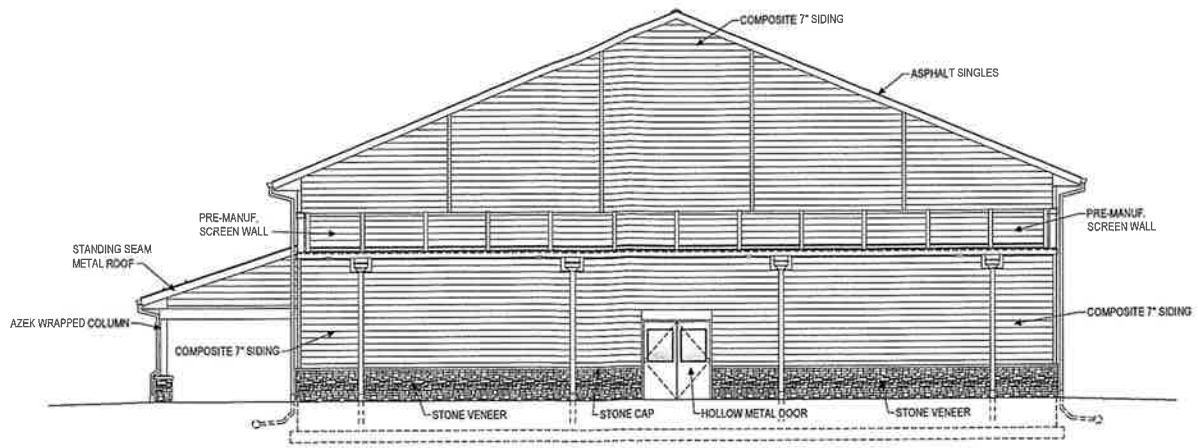
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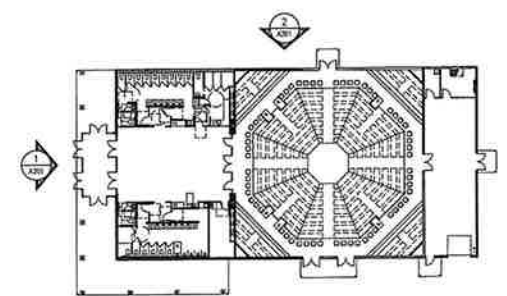
DATE: FEBRUARY 4, 2025
DRAWN BY: CC
PROJECT NUMBER: 24119

NEW FACILITY FOR:
STAMFORD MEETING ROOM, INC.
770 WEST HILL ROAD
STAMFORD, CT 06902
FAIRFIELD COUNTY
EXTERIOR ELEVATIONS

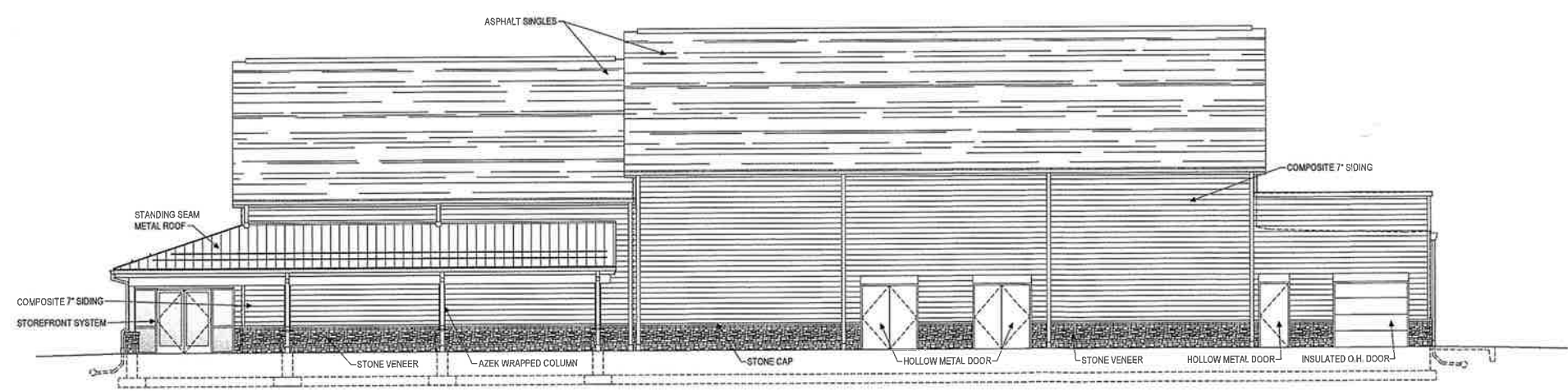
A201
DRAWING NUMBER



1 REAR ELEVATION
SCALE: 1/8"=1'-0"



A KEY PLAN
SCALE: N.T.S.



2 SIDE ELEVATION
SCALE: 1/8"=1'-0"

HEX 9 ARCHITECTS
An LLC Company
JOSEPH TURNOVICZKY, AIA, NCARB
5127 Riverside Drive
Cape, PA 15227
(717) 442-9894
(717) 383-9897

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REVISIONS		
NUMBER	DATE	REVISED BY

DATE: FEBRUARY 4, 2025
DRAWN BY: CC
PROJECT NUMBER: 24119

NEW FACILITY FOR:
STAMFORD MEETING ROOM, INC.
770 WEST HILL ROAD
STAMFORD, CT 06902
EXTERIOR ELEVATIONS
FAIRFIELD COUNTY

A202
DRAWING NUMBER

PROGRESS DRAWING