



**PROPOSED RESIDENTIAL DEVELOPMENT**  
 31 MAPLE TREE AVE., STAMFORD, CT  
 FOR  
 31 MAPLE TREE LLC

**DRAWING INDEX**

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**ARCHITECTURAL DRAWINGS:**

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- A.002 USABLE OPEN SPACE
- EX.001 EXISTING FLOOR PLANS
- EX.002 EXISTING ELEVATION
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NO	DATE	ISSUE/REVISION
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2	11.11.24	
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PROPOSED RESIDENTIAL DEVELOPMENT  
 31 MAPLE TREE AVE., STAMFORD, CT  
 FOR  
 31 MAPLE TREE, LLC

Consultant:

SEAL:	
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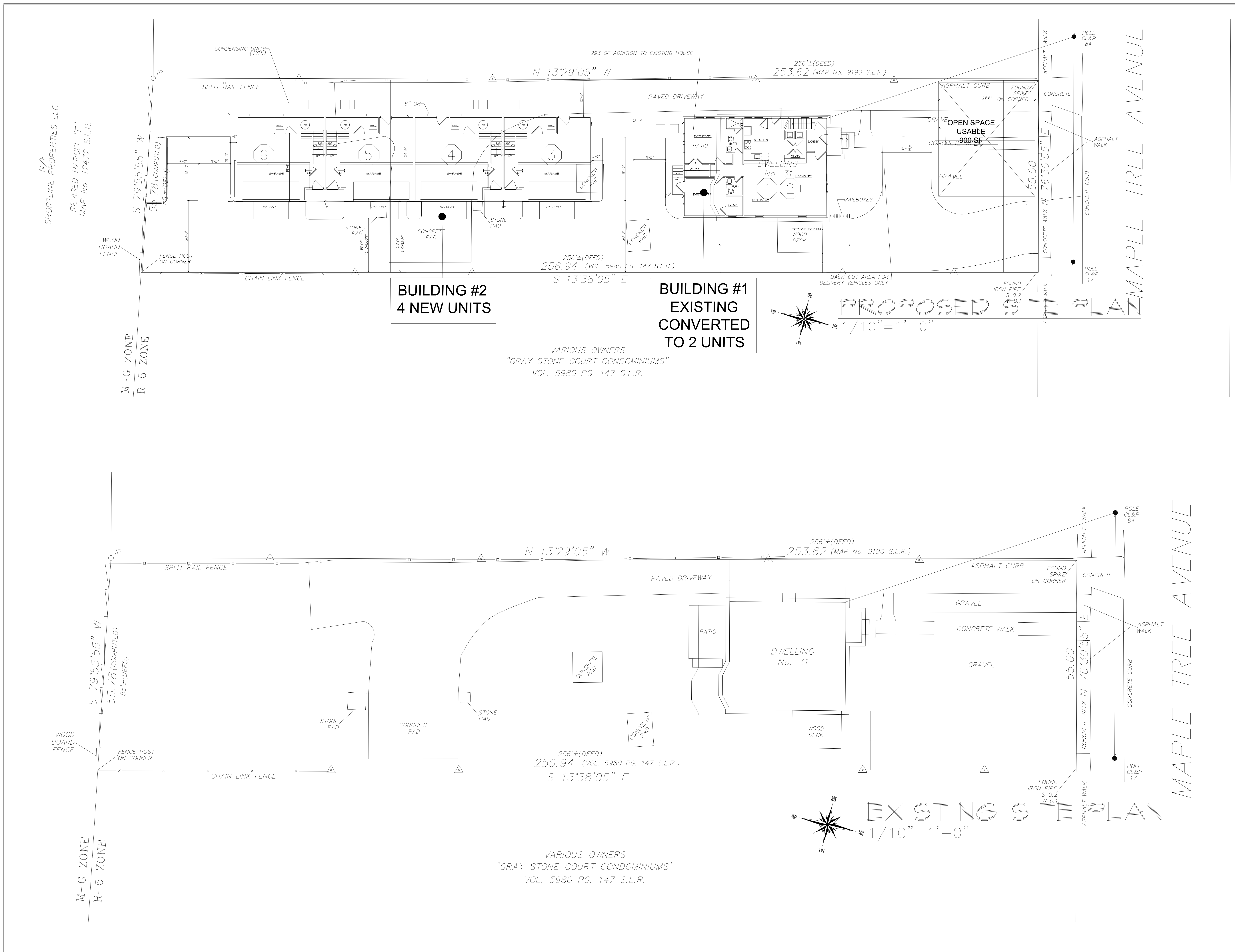
**RAVI AHUJA, ARCHITECT**  
**AWA DESIGN GROUP P.C.**  
 ARCHITECTURE DESIGN PLANNING  
 401 Shippin Ave., Suite 202 Stamford, CT 06902  
 Phone: 203-325-4121 Fax: 203-325-4123  
 Web Site: AWADg.com Email: awa@AWADg.com

**PROJECT DIRECTORY**

<b>DEVELOPER</b> 31MAPLE TREE,LLC	<b>LAND USE ATTORNEY</b> CARMODY TORRANCE SANDAK & HENNESSEY LLP 105 WASHINGTON BLVD., STAMFORD, CT 203-252-2669	<b>CIVIL ENGINEER</b> ROCCO V D'ANDREA INC. 6 NEIL LN, RIVERSIDE, CT 203-637-1779	<b>LANDSCAPE ARCHITECT</b> ENVIRONMENTAL LAND SOLUTION INC 8 KNIGHT STREET #203 NORWALK, CT 06851 203-855-7879	<b>ARCHITECT</b> AWA DESIGN GROUP, P.C. 401 SHIPPAN AVE., ST. 202 STAMFORD, CT 06902 203.325.4121	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">PROJECT NO. 2204</td> <td rowspan="4" style="width: 50%; text-align: center; font-size: 2em; font-weight: bold;">A.000</td> </tr> <tr> <td>DRAWN BY: Me</td> </tr> <tr> <td>ISSUED: 08.01.24</td> </tr> <tr> <td>SCALE AS NOTED</td> </tr> <tr> <td colspan="2" style="font-size: small;">DRAWING TITLE: TITLE SHEET</td> </tr> </table>	PROJECT NO. 2204	A.000	DRAWN BY: Me	ISSUED: 08.01.24	SCALE AS NOTED	DRAWING TITLE: TITLE SHEET	
PROJECT NO. 2204	A.000											
DRAWN BY: Me												
ISSUED: 08.01.24												
SCALE AS NOTED												
DRAWING TITLE: TITLE SHEET												

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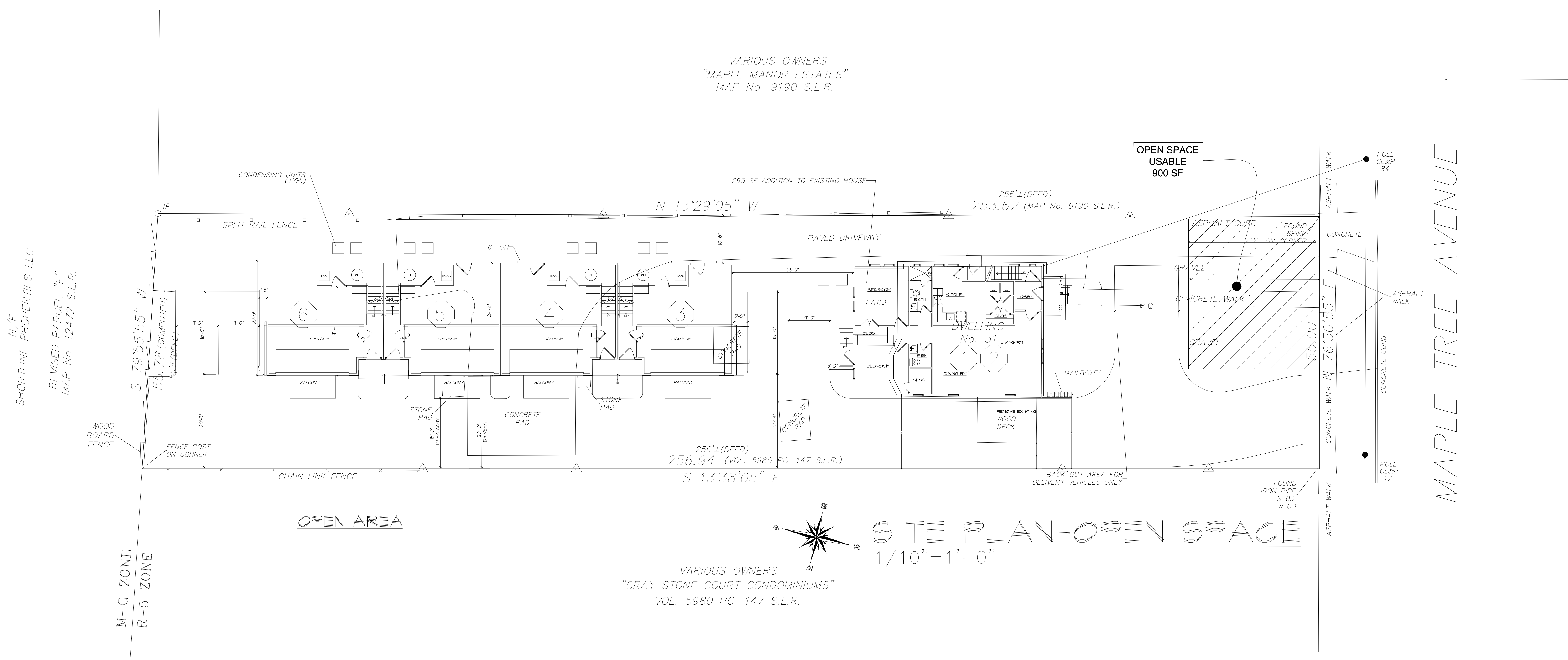
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401 Shippin Ave., Suite-202 Stamford, CT 06902  
Phone: 203-325-4121 Fax: 203-325-4123  
Web Site: AWAAG.com Email: awa@AWAG.com

PROJECT NO: 2204  
DRAWN BY: MG  
ISSUED: 08.01.24  
SCALE AS NOTED  
**A.001**  
DWG. NO.

DRAWING TITLE:  
SITE PLANS EXISTING & PROPOSED

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N/F  
SHORTLINE PROPERTIES LLC

REVISED PARCEL "E"  
MAP No. 12472 S.L.R.

M-G ZONE  
R-5 ZONE

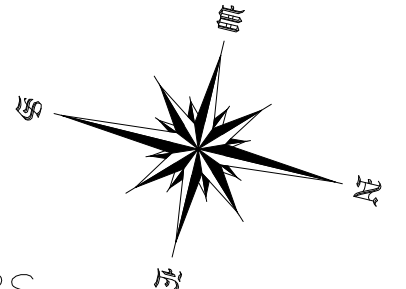
VARIOUS OWNERS  
"MAPLE MANOR ESTATES"  
MAP No. 9190 S.L.R.

OPEN SPACE  
USABLE  
900 SF

MAPLE TREE AVENUE

OPEN AREA

VARIOUS OWNERS  
"GRAY STONE COURT CONDOMINIUMS"  
VOL. 5980 PG. 147 S.L.R.



SITE PLAN-OPEN SPACE  
1/10" = 1'-0"

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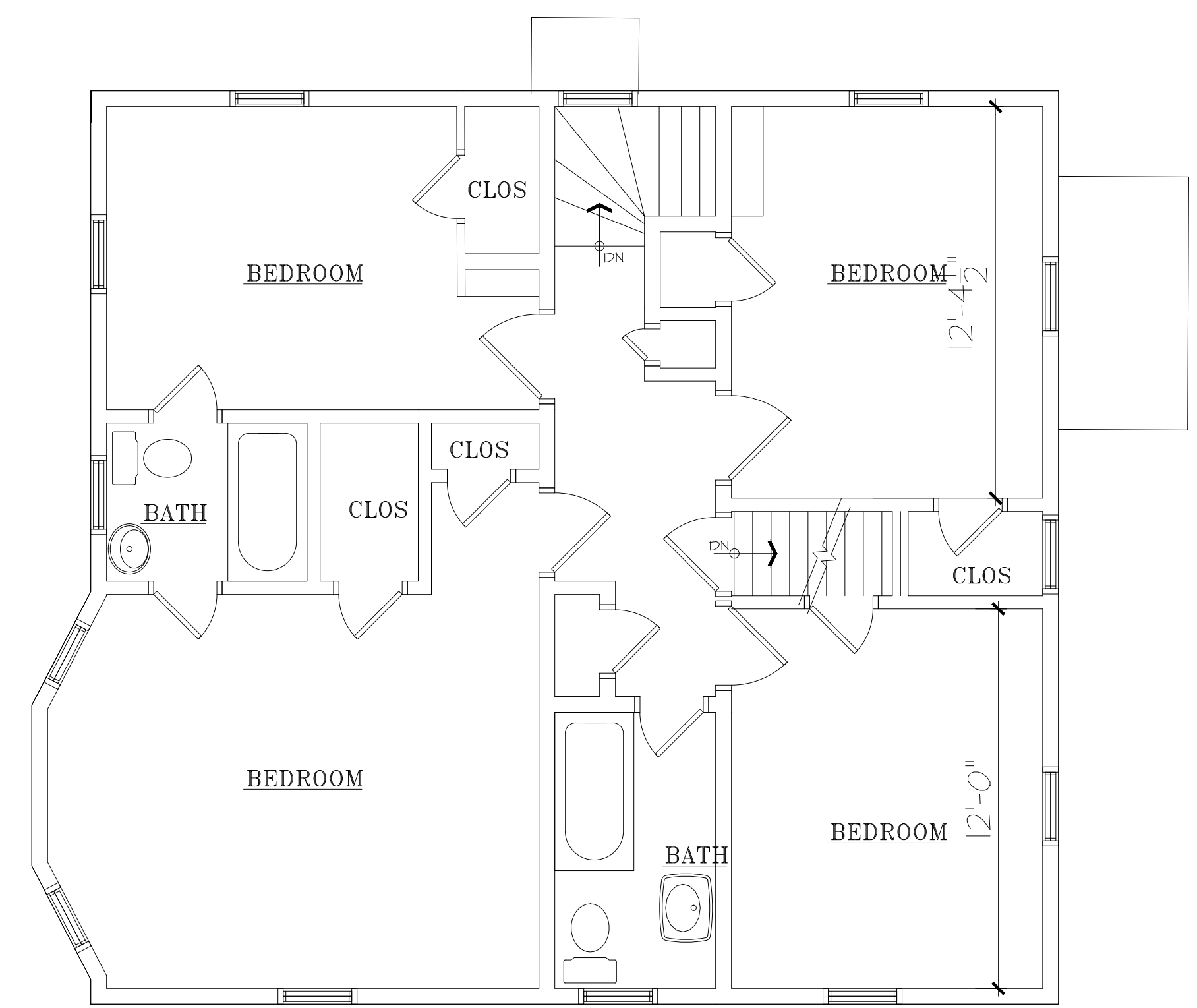
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PROJECT NO.	2204	<b>A.002</b>
DRAWN BY:	MG	
ISSUED:	08.01.24	
SCALE AS NOTED	DWG. NO.	

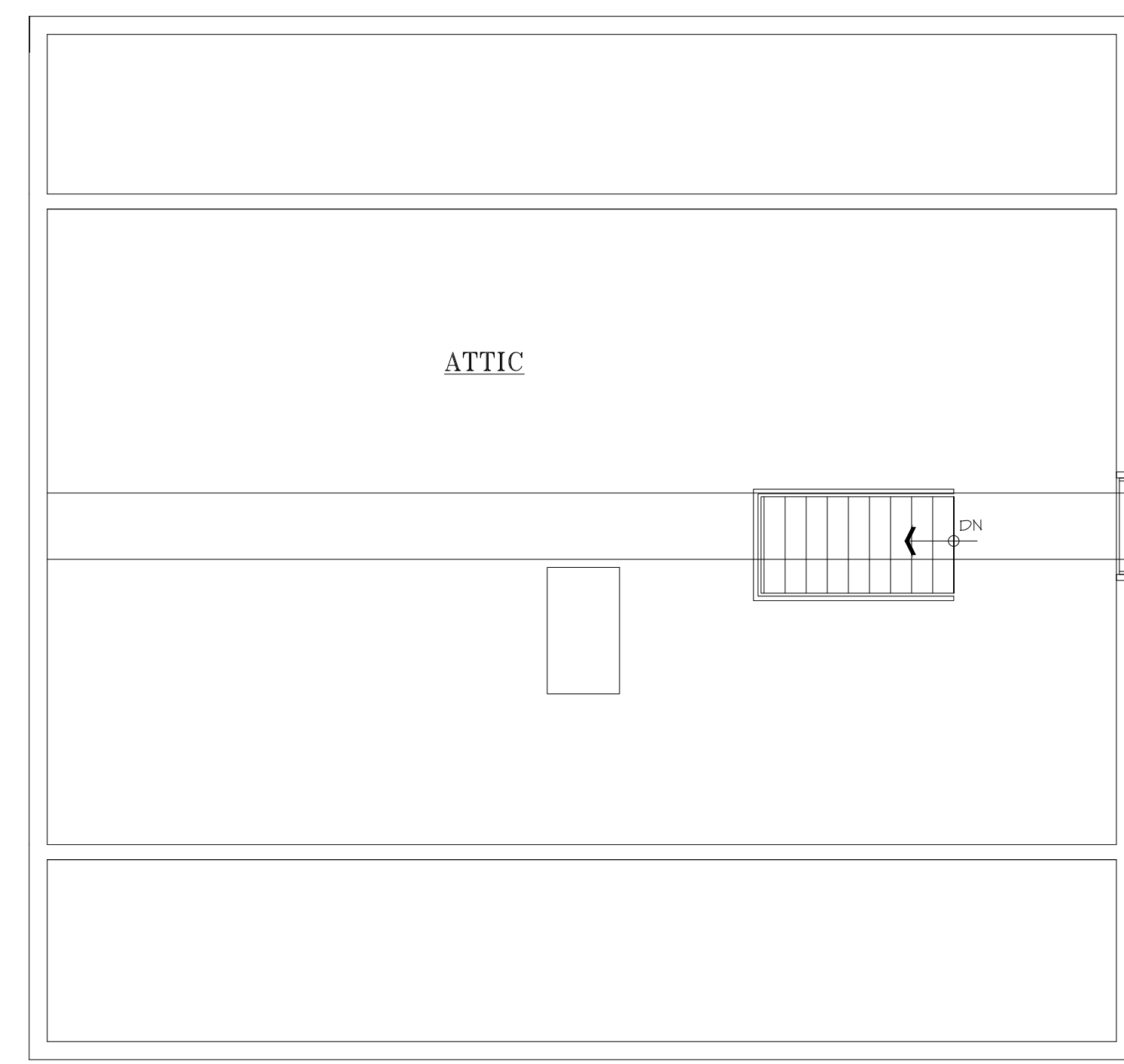
DRAWING TITLE:  
USABLE OPEN SPACE PLAN

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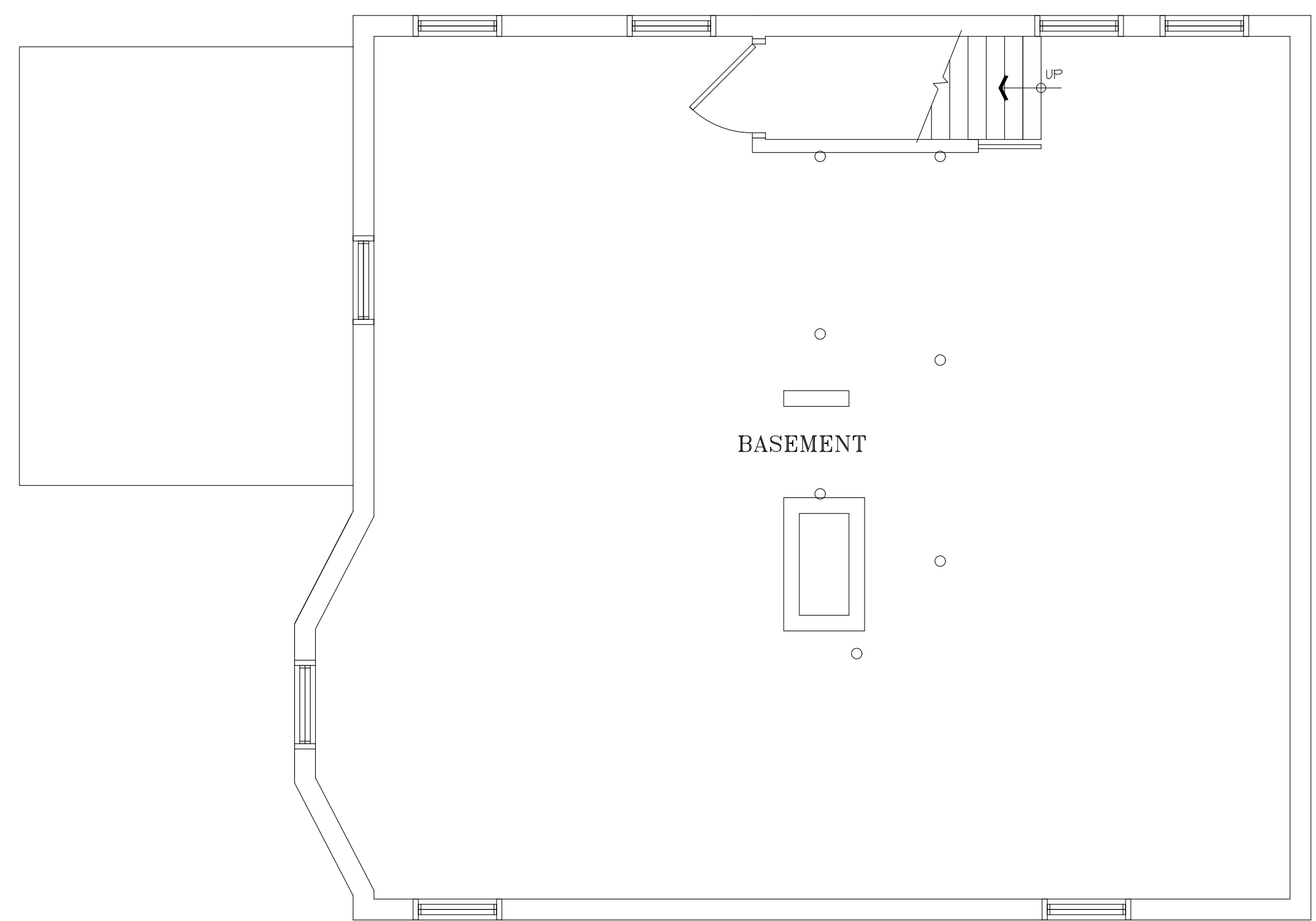
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3 EXISTING SECOND FLOOR PLAN  
1/4"=1'-0"



4 EXISTING ATTIC FLOOR PLAN  
1/4"=1'-0"



1 EXISTING BASEMENT PLAN  
1/4"=1'-0"



2 EXISTING FIRST FLOOR PLAN  
1/4"=1'-0"

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PROJECT NO:	2204	<b>EX.001</b>
DRAWN BY:	MS	
ISSUED:	08.01.24	
SCALE AS NOTED	DWG. NO.	

DRAWING TITLE:  
EXISTING FLOOR PLANS

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5 SOUTH ELEVATION  
1/4"=1'-0"



6 WEST ELEVATION  
1/4"=1'-0"



7 NORTH ELEVATION  
1/4"=1'-0"



8 EAST ELEVATION  
1/4"=1'-0"

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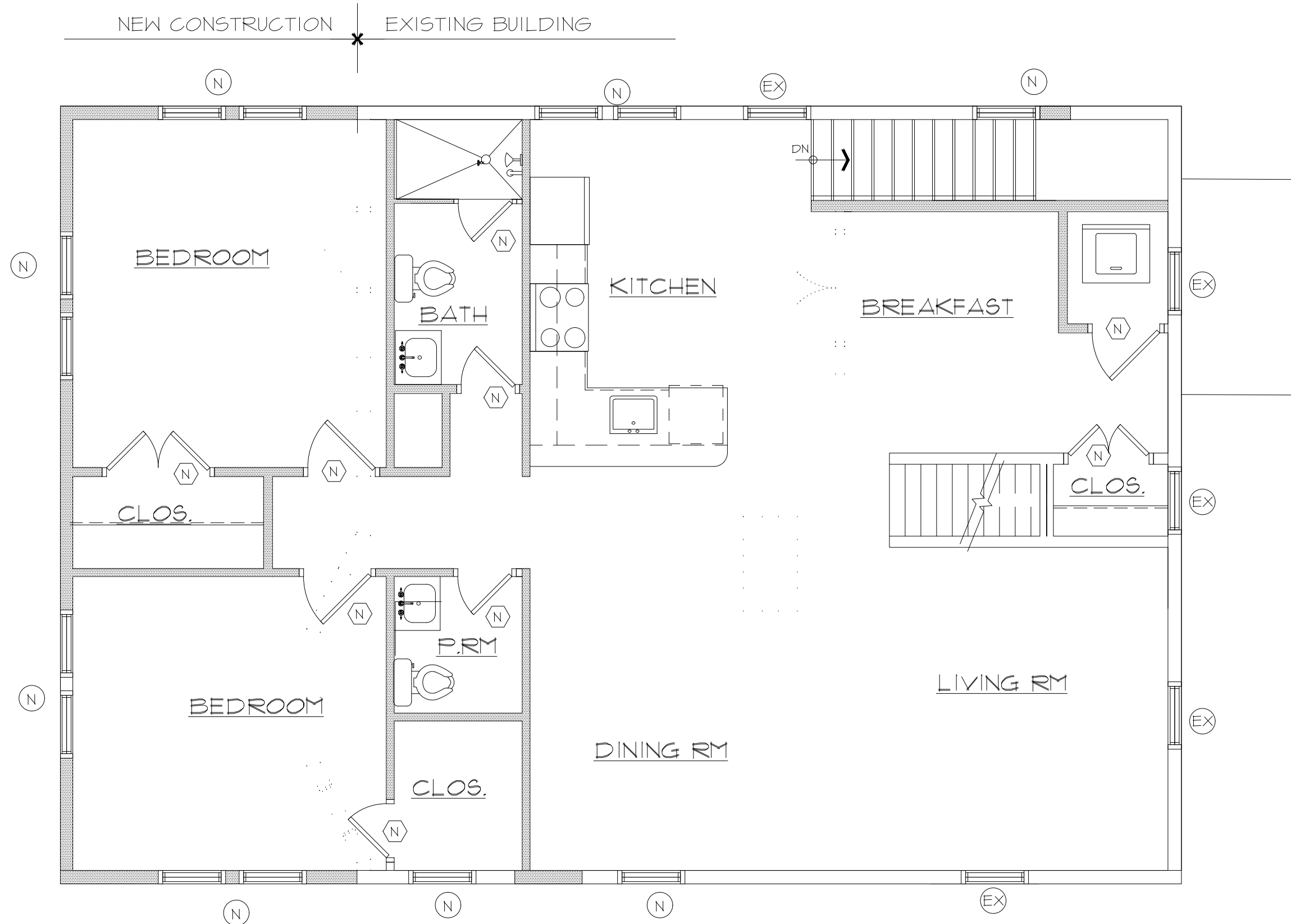
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ISSUED:	08.01.24	
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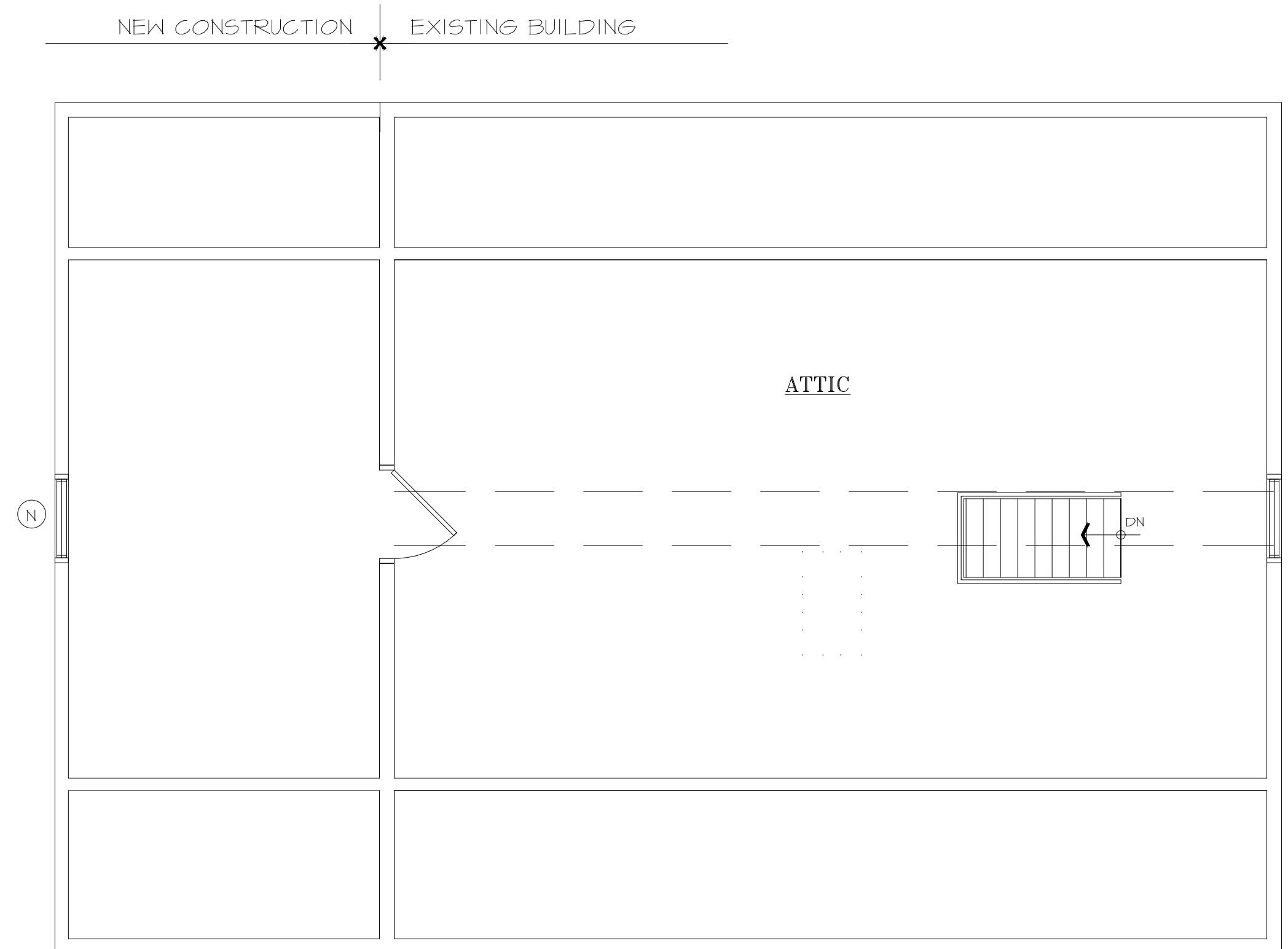
DRAWING TITLE:  
EXISTING ELEVATIONS

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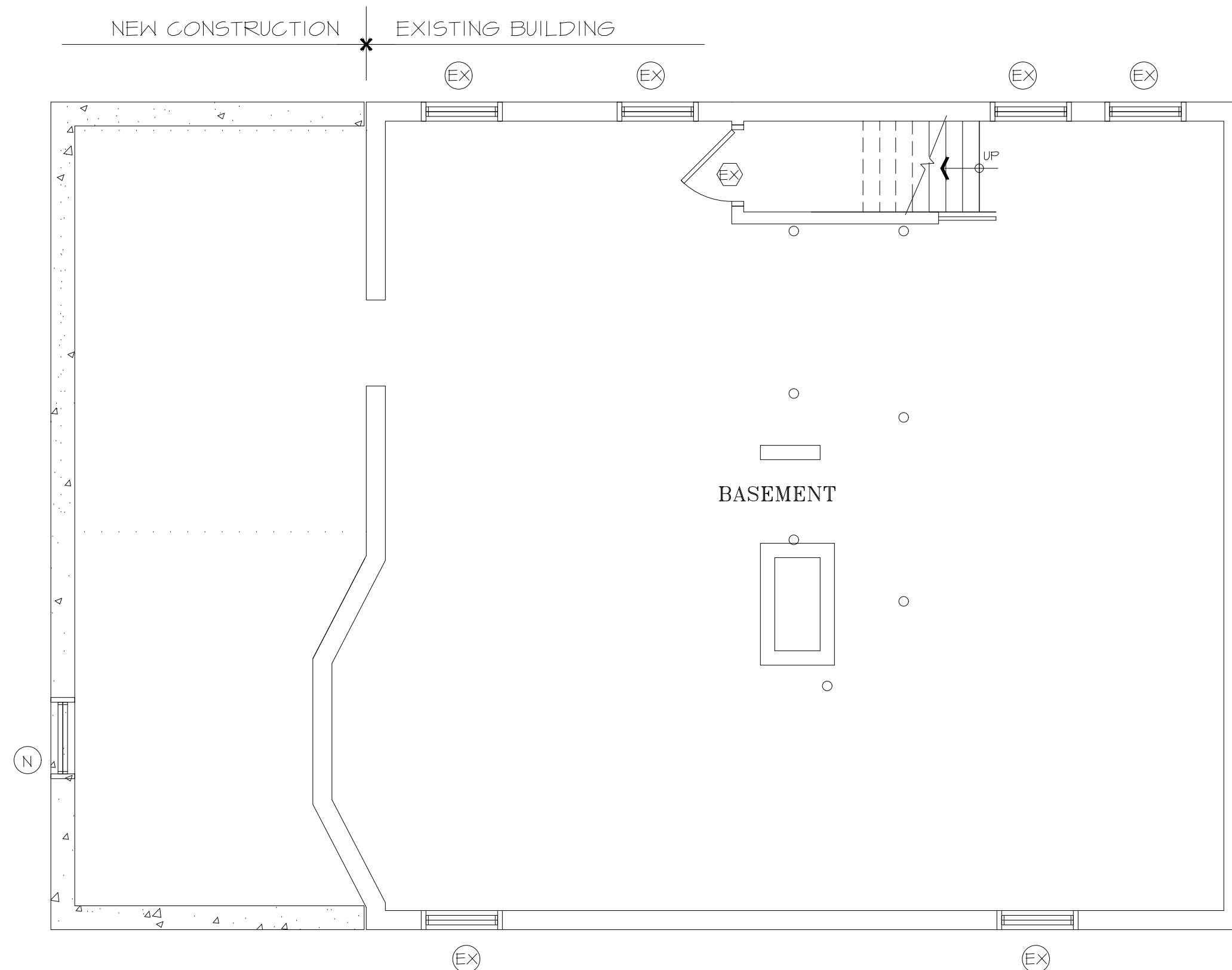
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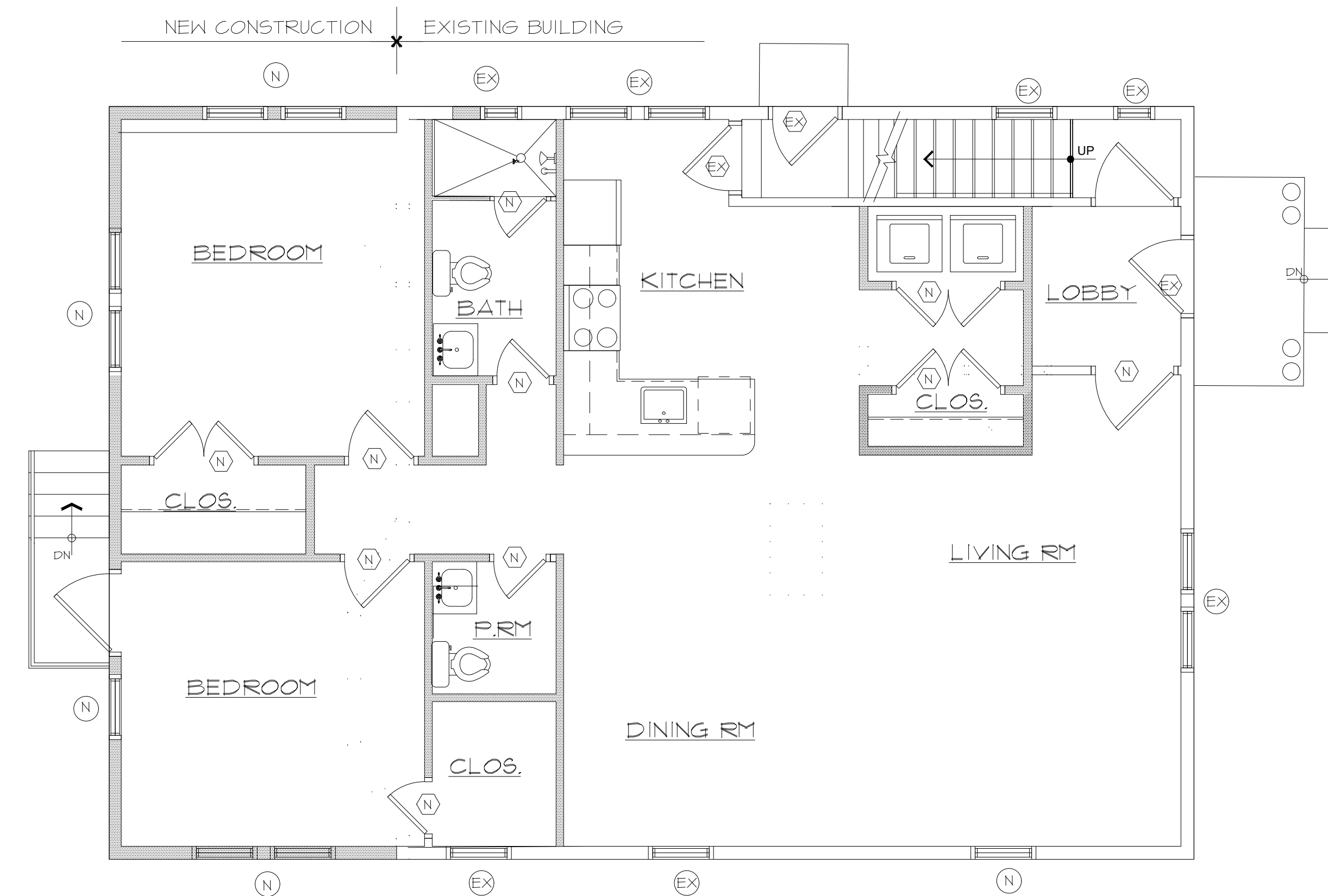
3 PROPOSED SECOND FLOOR PLAN  
1/4"=1'-0"



4 PROPOSED ATTIC FLOOR PLAN  
1/4"=1'-0"



1 PROPOSED BASEMENT PLAN  
1/4"=1'-0"



2 PROPOSED FIRST FLOOR PLAN  
1/4"=1'-0"

**NOTES :**

- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
- CERTAIN DIMENSIONS SHOWN ARE RELATIVE TO ANOTHER TO BE MATCHED WITH EXISTING DIMENSIONS AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTORS PRIOR TO COMMENCEMENT OF WORK.
- SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.

**WALL LEGEND**

- EXIST. WALL TO REMAIN
- EXIST. WALL TO BE REMOVED
- NEW STUD WALLS
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- EXISTING DOOR TO REMAIN
- NEW DOOR

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Consultant:

SEAL:

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PROJECT NO.	2204	<b>A.101</b>
DRAWN BY:	MS	
ISSUED:	08.01.24	DWG. NO.
SCALE AS NOTED		

DRAWING TITLE:  
FLOOR PLANS-BUILDING #1

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EXTERIOR FINISH MATERIALS LIST

NO.	MATERIAL
1	ASPHALT SHINGLE ROOFING
2	EXIST'G WOOD SIDING TO BE RESTORED (COLOR - MONTEREY TAUPE)
3	EXIST'G WOOD WINDOWS TO BE RESTORED
4	WOOD COLUMN



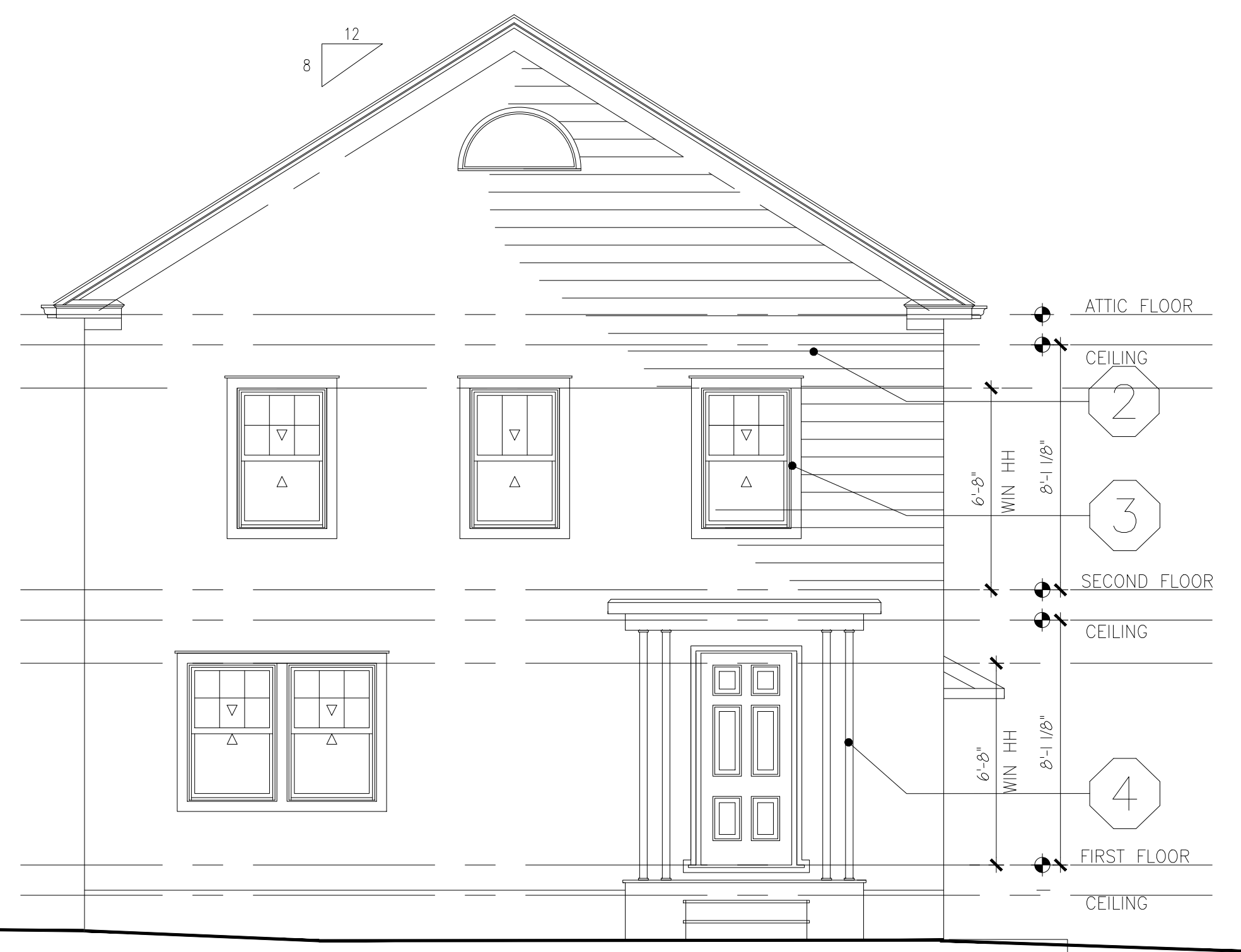
5 PROPOSED SOUTH ELEVATION  
1/4"=1'-0"



6 PROPOSED WEST ELEVATION  
1/4"=1'-0"

RESTORATION OF EXISTING HISTORIC BUILDING

- \* RETAIN WOODEN MATERIALS AND FEATURES SUCH AS SIDING, CORNICES, BRACKETS, SOFFITS, FACIA, WINDOW ARCHITRAVE, AND DOORWAY PEDIMENTS WHEREVER POSSIBLE.
- \* REPAIR TRIM AND SIDING BEFORE APPLYING PAINT. SEAL HOLES, CAULK CRACKS AND TREAT FOR WOOD FUNGUS. REMOVE LOOSE PAINT USING COMMERCIAL STRIPPERS, ELECTRIC HEAT GUNS OR PLATES, WIRE BRUSHES AND SCRAPERS. HAND SAND TO REDUCE LAYER DIFFERENTIAL.
- \* RETAIN, REPAIR AS NEEDED OR REPLACE HISTORIC FOUNDATIONS WITH MATCHING MATERIALS
- \* RETAIN PORCHES AND STEPS APPROPRIATE TO BUILDING. REPAIR AND REPLACE, WHERE NECESSARY, DETERIORATED ARCHITECTURAL FEATURES OF WOOD, TERRA COTTA, TILE, BRICK AND OTHER HISTORIC MATERIALS.
- \* RETAIN AND REPAIR DOOR OPENINGS, DOORS, SCREEN DOORS, TRIM AND DETAILS SUCH AS TRANSOM AND SIDE LIGHTS, AND HARDWARE WHERE THEY CONTRIBUTE TO THE ARCHITECTURAL AND HISTORIC CHARACTER OF THE BUILDING.
- \* RETAIN AND REPAIR WINDOW OPENINGS, FRAMES, SASH, GLASS, LINTELS, SILLS PEDIMENTS, ARCHITRAVES, HARDWARE, AWNINGS AND SHUTTERS WHERE THEY CONTRIBUTE TO THE ARCHITECTURAL AND HISTORIC CHARACTER OF THE BUILDING.
- \* PRESERVE THE ORIGINAL ROOF FORM IN THE COURSE OF REHABILITATION. RETAIN OR REPLACE WHERE NECESSARY DORMER WINDOWS, CORNICES, BRACKETS CHIMNEYS, AND OTHER ARCHITECTURAL FEATURES THAT GIVES THE ROOF ITS ESSENTIAL CHARACTER.
- \* EXISTING WINDOWS SHALL BE RESTORED.
- \* ALL RESTORATION OF HISTORICAL HOUSE SHALL BE WITH ADVICE OF HISTORICAL NEIGHBORHOOD PRESERVATION STAFF.
- \* RESTORE ALL ORIGINAL EXTERIOR CLADDING WITH COLABORATION FROM HISTORIC NEIGHBORHOOD PRESERVATION.
- \* PROVIDE NEW WOOD RAILING AND BRACKETS AS SHOWN.



7 PROPOSED NORTH ELEVATION  
1/4"=1'-0"



8 PROPOSED EAST ELEVATION  
1/4"=1'-0"

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31 MAPLE TREE AVE., STAMFORD, CT  
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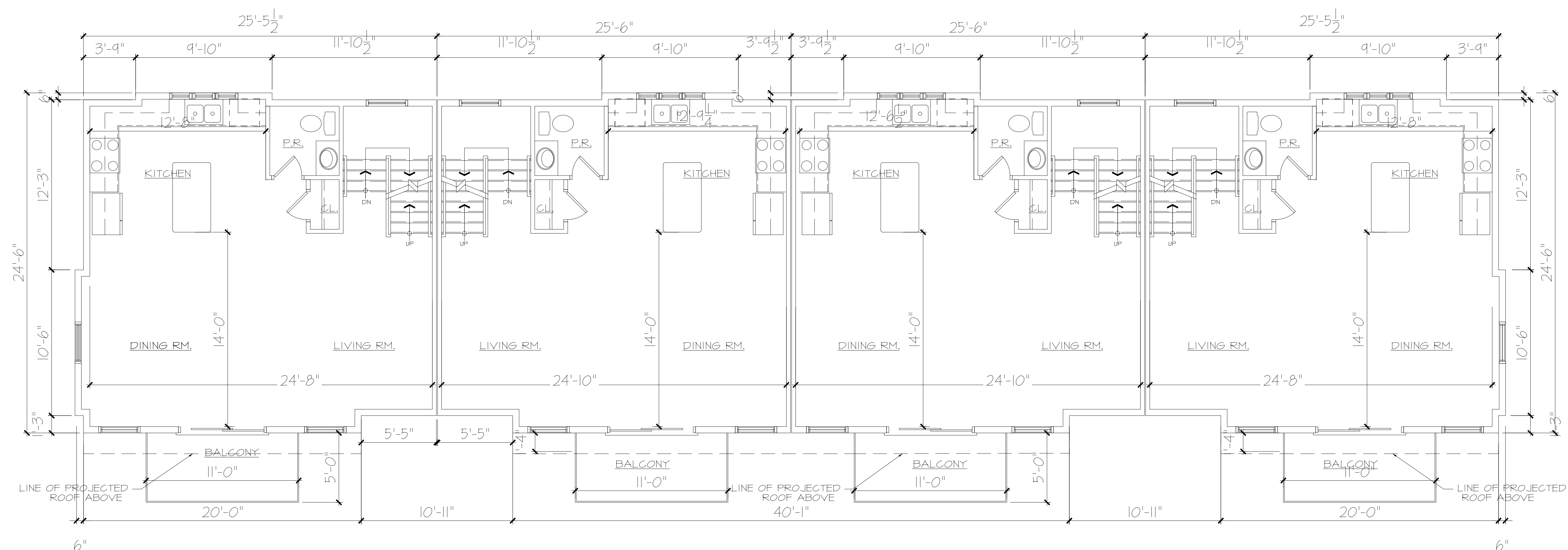
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PROJECT NO.	2204	<b>A.102</b>
DRAWN BY:	MG	
ISSUED:	08.01.24	DWG. NO.
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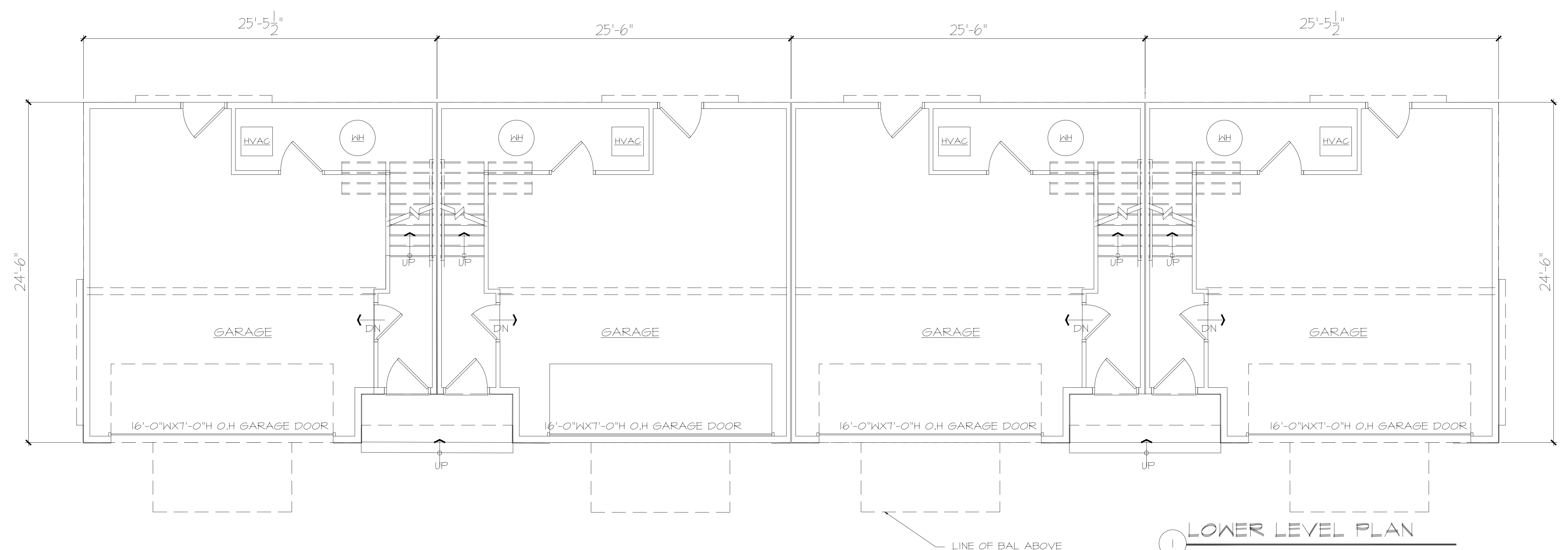
DRAWING TITLE:  
ELEVATIONS BUILDING # 1

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2 FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



1 LOWER LEVEL PLAN  
SCALE: 1/4"=1'-0"

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PROJECT NO.	2204	<b>A.103</b>
DRAWN BY:	MS	
ISSUED:	08.01.24	
SCALE AS NOTED	DWG. NO.	

DRAWING TITLE:  
FLOOR PLANS BUILDING # 2

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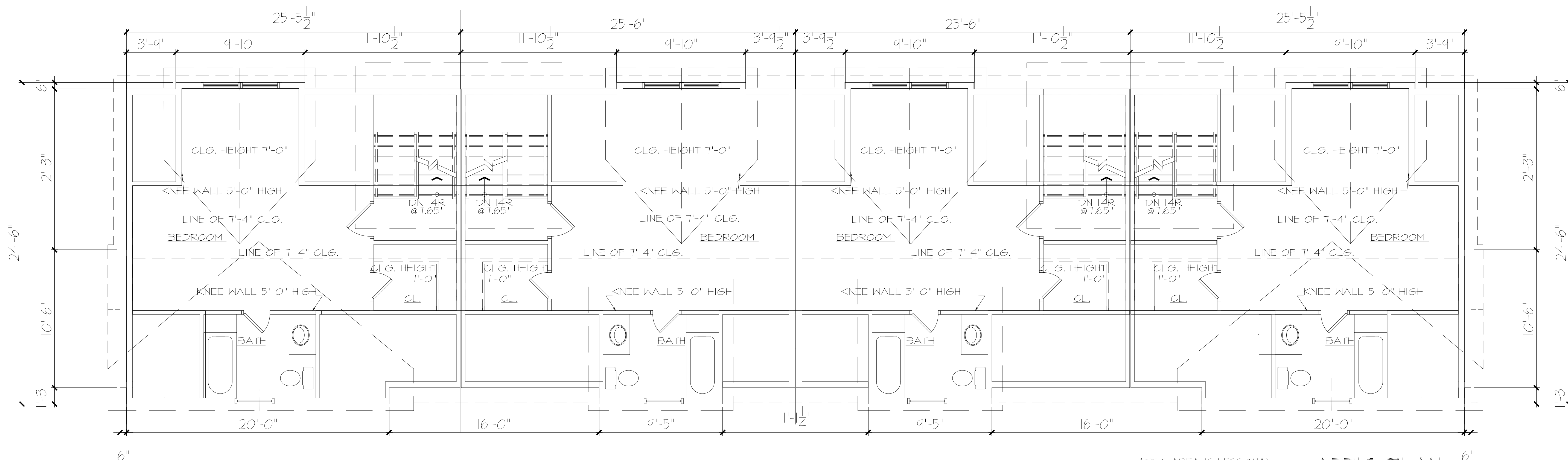
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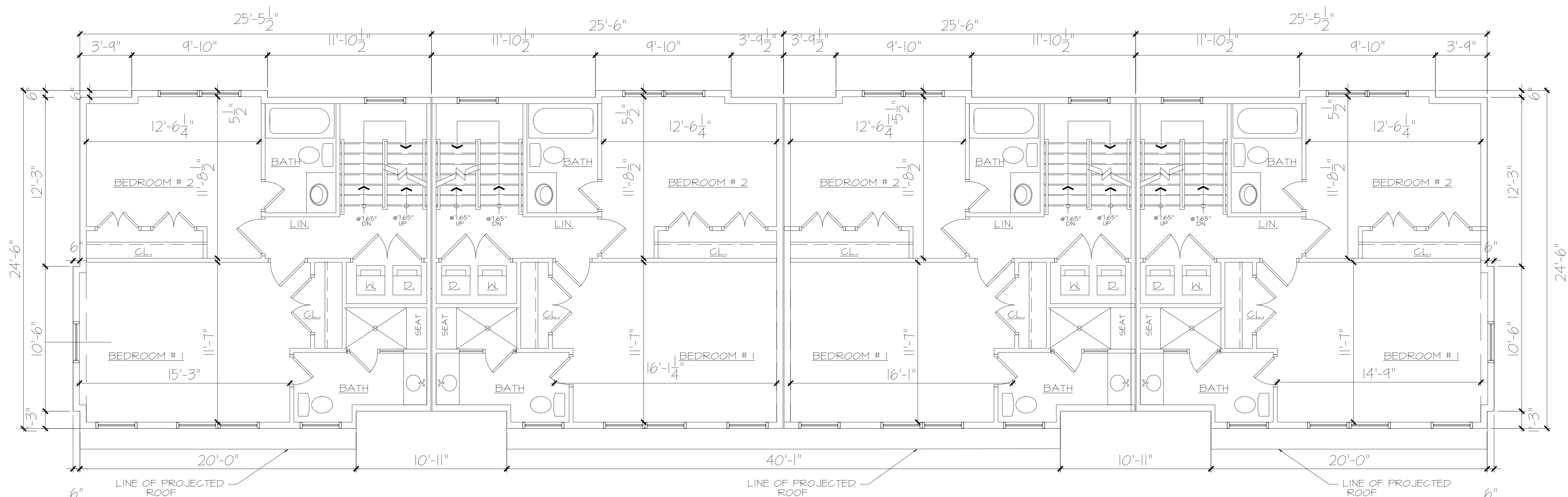
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PROJECT NO.	2204	<b>A.104</b>
DRAWN BY:	MG	
ISSUED:	08.01.24	
SCALE AS NOTED	DWG. NO.	

DRAWING TITLE:  
FLOOR PLANS BUILDING # 2



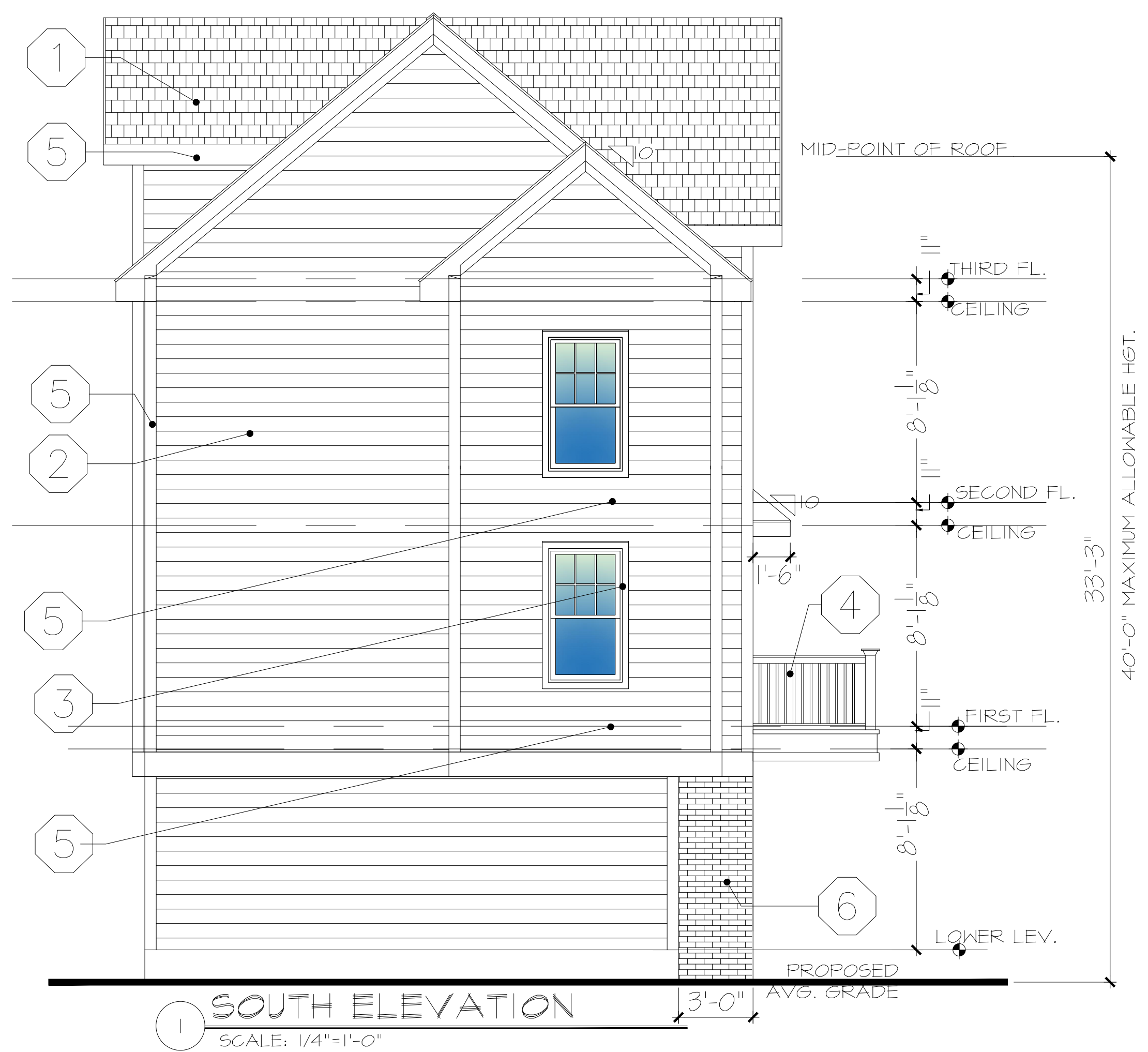
ATTIC AREA IS LESS THAN 1/3RD OF THE SECOND FLR. AREA @ 7'-4" CLG. HGT.  
**2 ATTIC PLAN**  
SCALE: 1/4"=1'-0"



**1 SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

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**EXTERIOR FINISH MATERIALS LIST**

NO.	MATERIAL
1	ASPHALT SHINGLE ROOFING
2	HARDIE BOARD SIDING COLOR- MONTEREY TAUPE
3	VINYL CLAD D.H. WINDOWS
4	VINYL RAILING
5	AZEK TRIM
6	1/2" THIN BRICK VENEER



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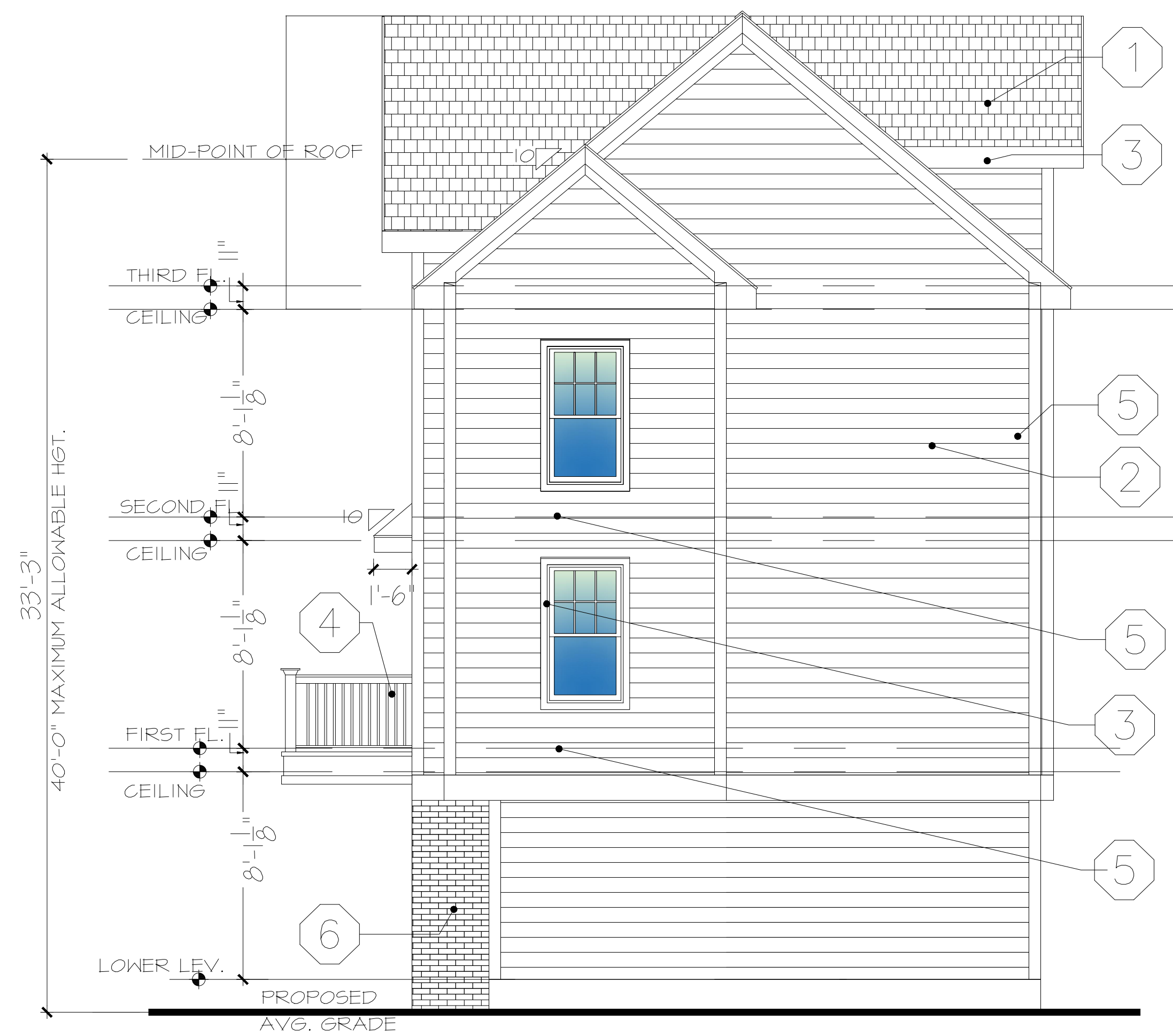
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ELEVATIONS BUILDING # 2

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1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

EXTERIOR FINISH MATERIALS LIST

NO.	MATERIAL
①	ASPHALT SHINGLE ROOFING
②	HARDIE BOARD SIDING COLOR - MONTEREY TAUPE
③	VINYL CLAD D.H. WINDOWS
④	VINYL RAILING
⑤	AZEK TRIM
⑥	1/2" THIN BRICK VENEER



1 WEST ELEVATION  
SCALE: 1/4"=1'-0"

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ELEVATIONS BUILDING # 2

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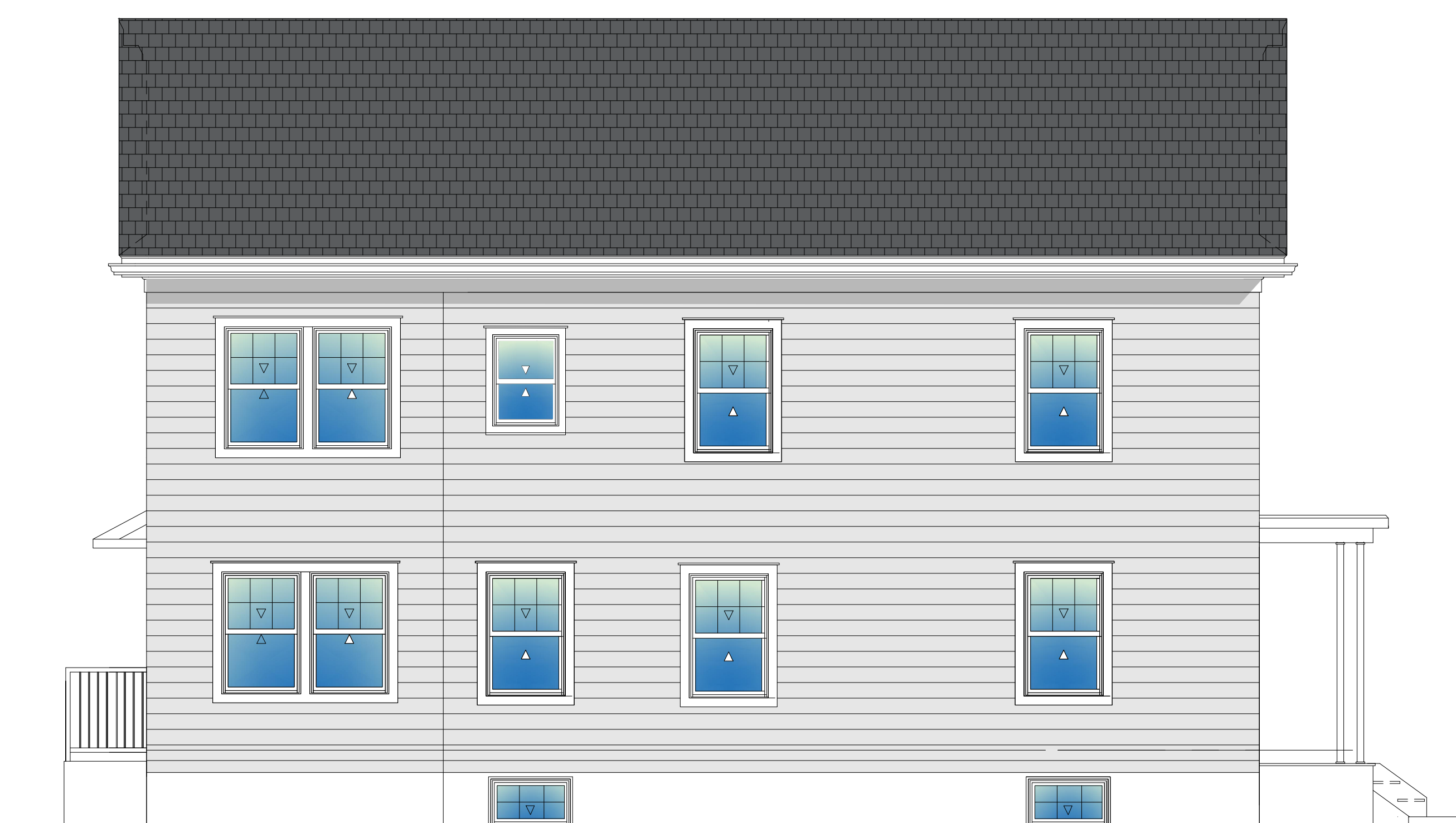
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7 PROPOSED NORTH ELEVATION  
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8 PROPOSED EAST ELEVATION  
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ELEVATIONS BUILDING # 1

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1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



1 EAST ELEVATION  
SCALE: 1/4"=1'-0"

PROPOSED RESIDENTIAL DEVELOPMENT  
31 MAPLE TREE AVE., STAMFORD, CT  
FOR  
31 MAPLE TREE, LLC

Consultant:

SEAL:

RAVI AHUJA, ARCHITECT  
**AWA DESIGN GROUP PC**  
ARCHITECTURE DESIGN PLANNING  
401 Shippan Ave., Suite-202 Stamford, CT 06902  
Phone: 203-325-4121 Fax: 203-325-4123  
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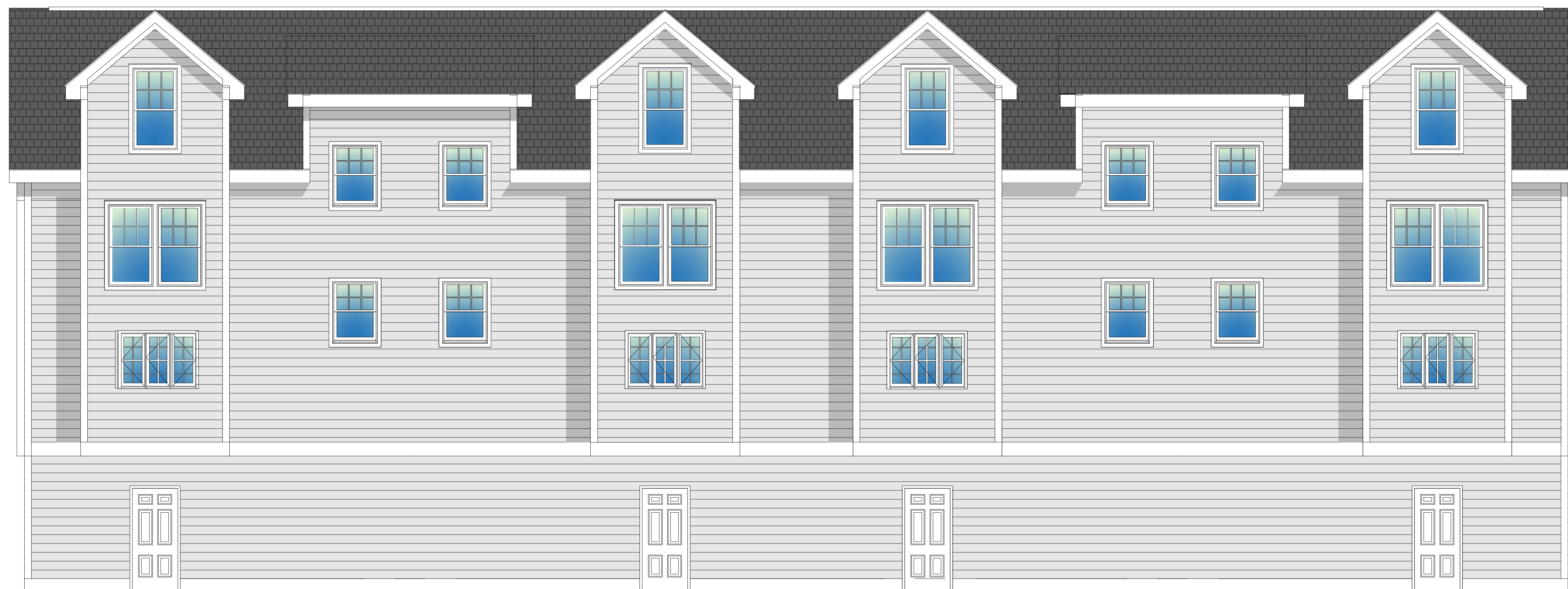
PROJECT NO.	2204	<b>A.108</b>
DRAWN BY:	MG	
ISSUED:	08.01.24	
SCALE AS NOTED	DWG. NO.	

DRAWING TITLE:  
ELEVATION RENDERING

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1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



1 WEST ELEVATION  
SCALE: 1/4"=1'-0"

NO	DATE	ISSUE/REVISION
1	9.06.24	
2	11.11.24	
3		
4		

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